



BLDG 1 ENTRY - TELFAIR AVE. | NTS | 1



BLDG 1 - TELFAIR AVE. | NTS | 2



BLDG 1 - TELFAIR AVE. | NTS | 3



TRUCK ENTRY - BLDG 1 - TELFAIR AVE. | NTS | 4



BLDG 1 - ENTRY 2 | NTS | 5



BLDG 1 - NORTH ELEVATION | NTS | 6



BLDG 2 - NORTH ENTRY | NTS | 7



BLDG 2 - SOUTH ENTRY | NTS | 8



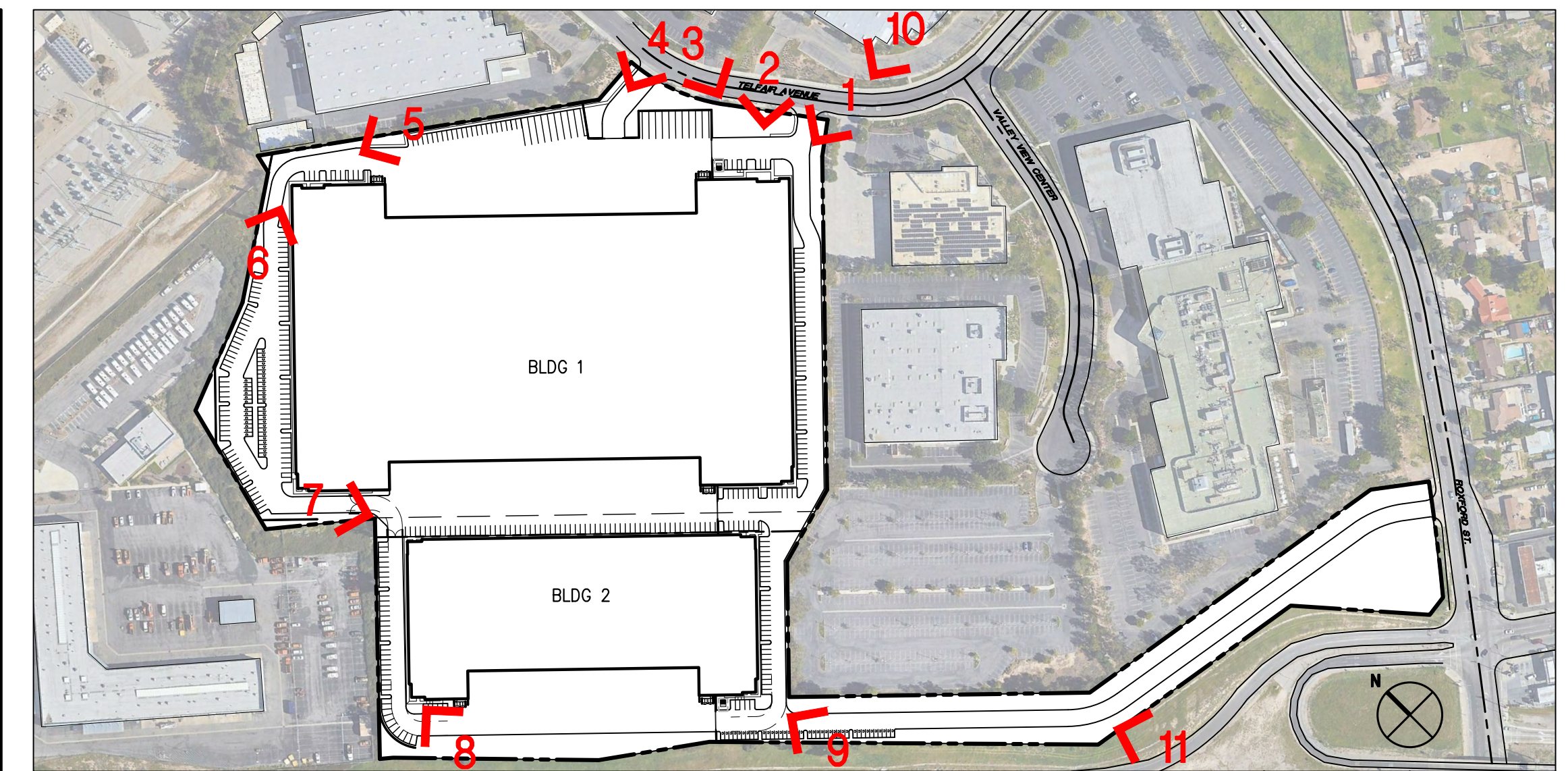
BLDG 2 - SE ENTRY - OFF ROXFORD ST. | NTS | 9



BLDG 1 AERIAL - OFF TELFAIR AVE. | NTS | 10



BLDG 2 - DRIVE ENTRY OFF ROXFORD ST. | NTS | 11



SITE REFERENCE | NTS | 12

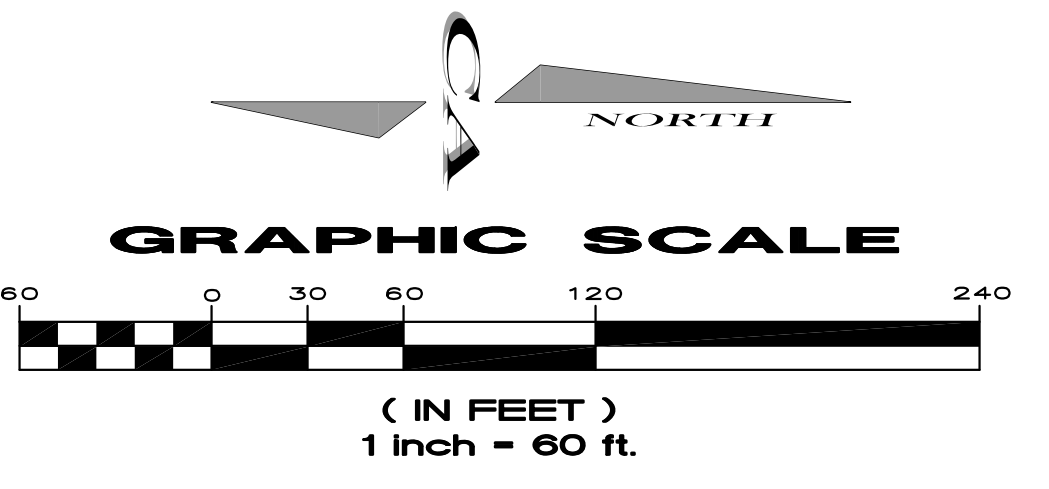
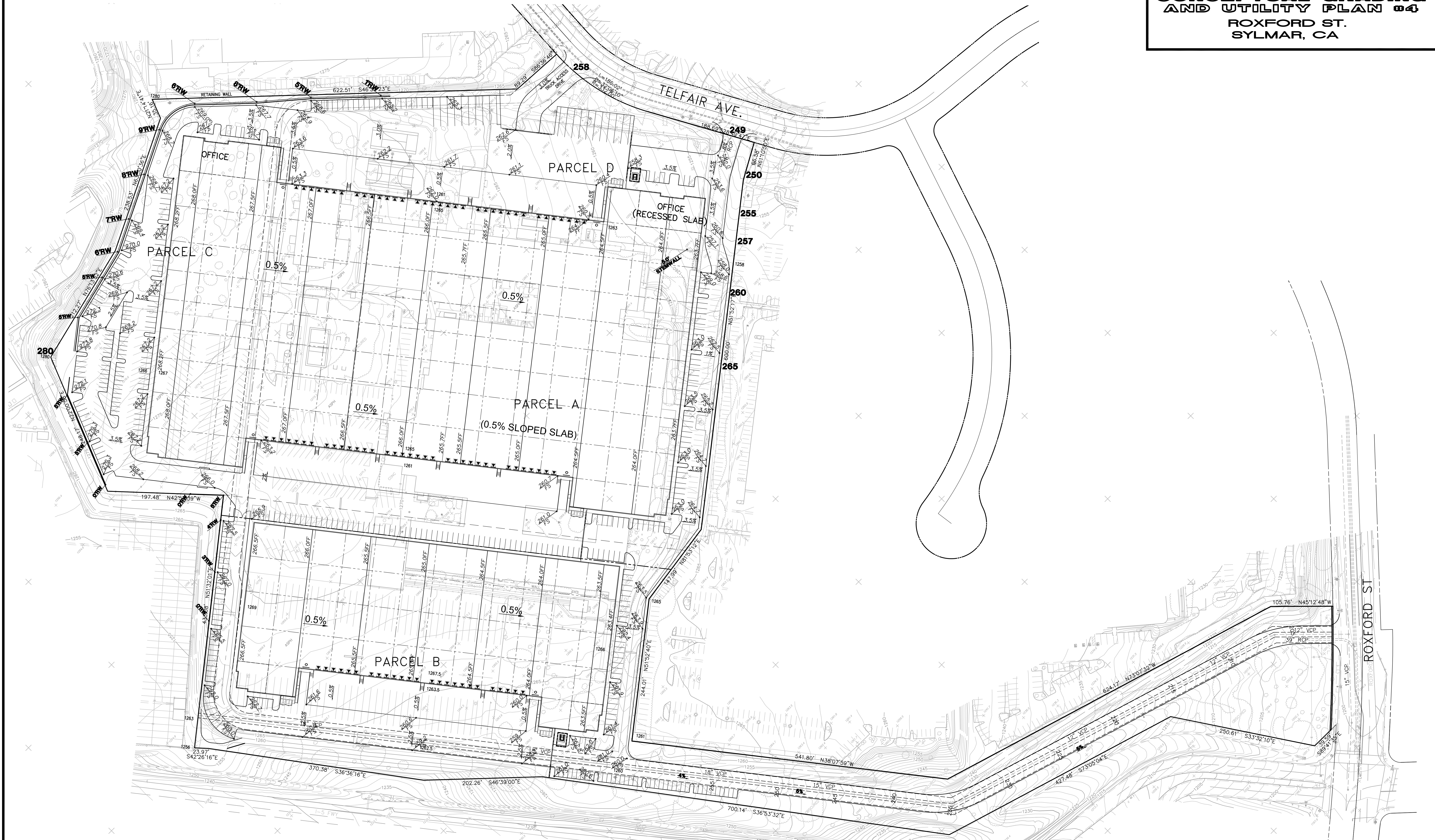
NO.	DESCRIPTION	DATE
1	PROGRESS SET	07/30/21

PROJECT RENDERINGS

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JOB NO:	XRP040.01	SHEET NO:	T2
DATE:	7/28/21		
DRAWN:	GAA		
FILE NAME:	XRP040.01_T2		

**CONCEPTUAL GRADING
AND UTILITY PLAN #4**
ROXFORD ST.
SYLMAR, CA



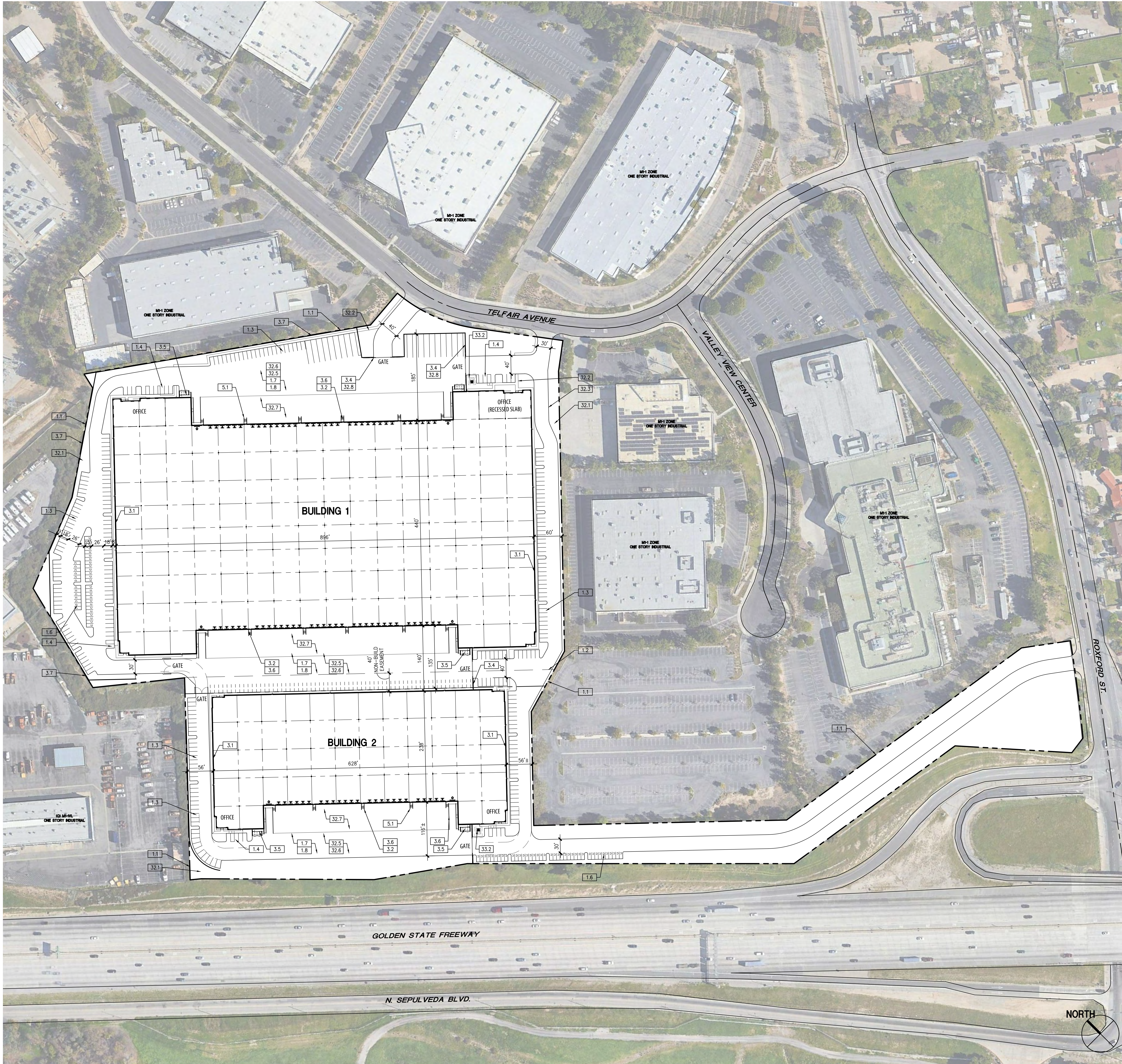
**XEBEC REALTY
PARTNERS**
3010 OLD RANCH PARKWAY, STE 470
SEAL BEACH, CA 90740
562-546-0252
CONTACT: MR. STEVEN CHRISTIE



FRED CORNWELL R.C.E. 45591 DATE _____

PREPARED BY:	DATE	BY	REVISION
CA ENGINEERING, INC. Planning • Engineering • Surveying 13821 NEWPORT AVE., STE 110 TUSTIN, CA 92780 949-724-9480 949-724-9484 FAX			

LAST REV.
Jun 23 2021
JOB NO.
251-60
SHT. C-1



KEYNOTES

- 1.0 GENERAL
 - 1.1 PROPERTY LINE/ R.O.W. - REFER TO CIVIL DRAWINGS
 - 1.2 EASEMENT - REFER TO CIVIL DRAWINGS
 - 1.3 STANDARD PARKING STALL(S) - TYP.
 - 1.4 ADA-ACCESSIBLE PARKING STALL(S)
 - 1.5 CLEAN AIR/ VAN POOL/ EV PARKING STALL(S) PER CALGREEN 5.106.5.2
 - 1.6 COMPACT PARKING STALL(S)
 - 1.7 2-WAY DRIVE AISLE: 24'W MIN.
 - 1.8 FIRE DEPT. ACCESS DRIVE: 30'W MIN.
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE BUILDING WALL
 - 3.2 CONCRETE STAIR W/ HANDRAIL & 42" GUARDRAIL
 - 3.3 CONCRETE STAIR W/ HANDRAIL
 - 3.4 TILT-UP CONCRETE SCREEN WALL, PTD.
 - 3.5 TILT-UP CONCRETE TRASH ENCLOSURE, 6' TALL TYP.
 - 3.6 TILT-UP CONCRETE GUARDRAIL T.O.W. 42" ABOVE HIGH SIDE
 - 3.7 CONCRETE RETAINING WALL - SEE CIVIL
- 5.0 METAL FABRICATIONS
 - 5.1 STEEL PIPE BOLLARD, REFER TO 1/A0.2
- 12.0 FURNISHINGS
 - 12.1 BICYCLE RACK PER CAL GREEN; LONG-TERM 5% OF EMPLOYEE PARKING - REFER TO TABULATIONS
 - 12.2 BICYCLE RACK PER CAL GREEN; SHORT-TERM 5% OF VISITOR PARKING - REFER TO TABULATIONS
- 21.0 FIRE SUPPRESSION - REFER TO FIRE PROTECTION DRAWINGS
 - 21.1 FUTURE FIRE PUMP HOUSE.
- 32.0 EXTERIOR IMPROVEMENT - REFER TO CIVIL AND LANDSCAPE U.N.O.
 - 32.1 LANDSCAPE PLANTING AREA
 - 32.2 CONCRETE WALKWAY
 - 32.3 CONCRETE CURB, TYP.
 - 32.4 PRECAST CONCRETE WHEEL STOP
 - 32.5 VEHICULAR PAVING
 - 32.6 CONCRETE COMMERCIAL DRIVEWAY
 - 32.7 CONCRETE TRUCK DOCK APRON
 - 32.8 WROUGHT IRON GATE W/ MOTOR & KNOX PADLOCK - 8' TALL
- 33.0 UTILITIES - REFER TO CIVIL AND ELECTRICAL
 - 33.1 BIO-SWALE
 - 33.2 ELECTRICAL TRANSFORMER
 - 33.3 (C) POWER POLE
 - 33.4 (E) FIRE HYDRANT

GENERAL NOTES

1. GUARDS SHALL BE LOCATED ALONG OPEN SIDE OF WALKING SURFACES, STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. GUARDS ARE NOT REQUIRED ON THE LOADING SIDE OF LOADING DOCKS (CBC 1013.2).
2. THE RUNNING SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48 (2.083%).
3. THE CLEAR WIDTH FOR SIDEWALKS AND WALKS SHALL BE 48 INCHES MINIMUM.
4. THE WASTE STORAGE AREA SHALL BE GRADED SO THAT STORAGE CONTAINERS REMAIN AT REST WITHOUT AUXILIARY RESTRAINING DEVICES.

SITE PLAN - LEGEND

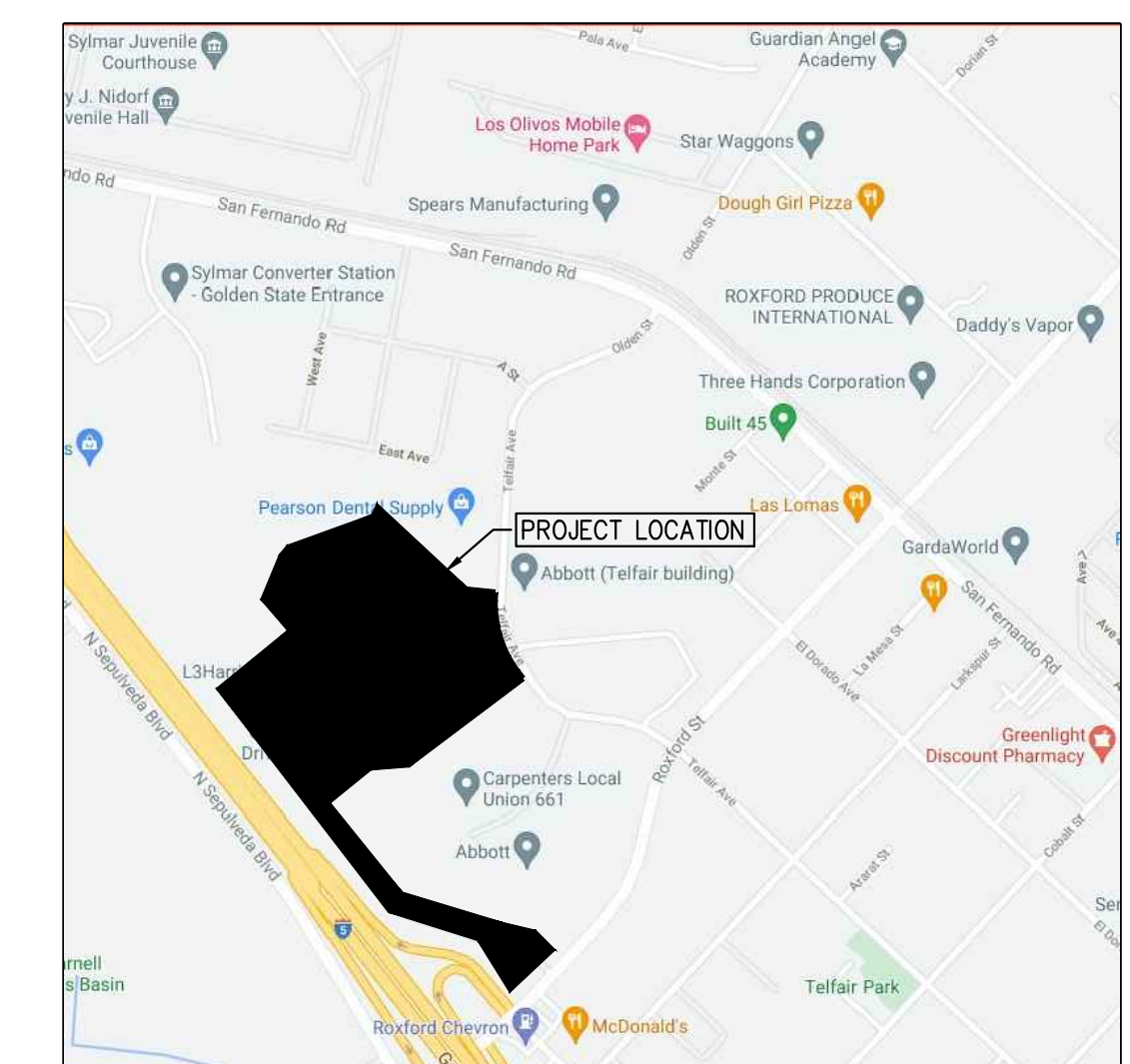
- ACCESSIBLE PATH OF TRAVEL - 4' WIDE MINIMUM - 1:20 MAX RUNNING SLOPE (U.N.O.), AND 1:48 MAX CROSS SLOPE
- ACCESSIBLE PARKING STALL(S), TYP.
- PARKING STALL MARKING PER CALGREEN CLEAN AIR/VANPOOL/EV, TYP.
- COMPACT PARKING STALL(S), TYP.
- LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- FIRE LANE - PER FIRE DEPARTMENT REQUIREMENTS
- 12' X 14' SECTIONAL GRADE DOOR. REFER TO ELEVATIONS
- 9' X 10' SECTIONAL DOCK HIGH DOOR. REFER TO ELEVATIONS

G|A|A
ARCHITECTS

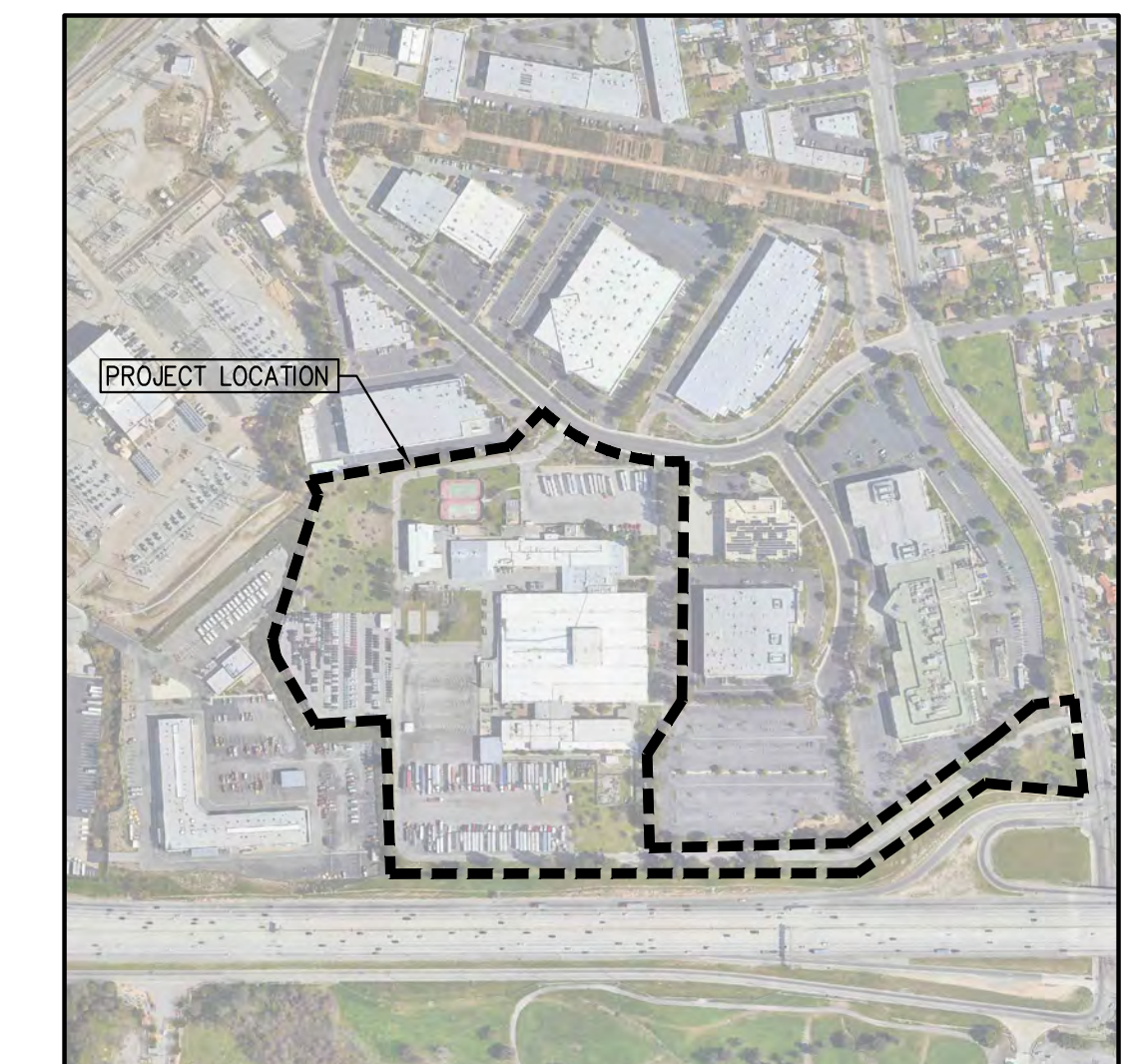
8811 Research Drive,
Suite 200,
Irvine, CA 92618
T: 949 474 1775
F: 949 553 9133

ROXFORD STREET INDUSTRIAL BLDG
15825 ROXFORD ST.
SYLMAR, CA 91342
DEVELOPED FOR:
ROXFORD XC LLC.

KEYNOTES | NTS | 3



VICINITY MAP | NTS | 2



AERIAL MAP | NTS | 1

NO.	DESCRIPTION	DATE
1	PROGRESS SET	07/30/21

OVERALL SITE PLAN PROJECT TABULATIONS

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JOB NO:	YRP040.01	SHEET NO:	A11
DATE:	7/28/21		
DRAWN:	GAA		
FILE NAME:	XXX001_1.1		

SITE INFORMATION

A.P.N.:
2604-001-001, 2604-001-002, 2604-001-003
2604-001-004

TENTATIVE PARCEL MAP:
TENTATIVE PARCEL MAP NO.

LEGAL DESCRIPTION:
SEE CIVIL

LAND USE / ZONING:
EXISTING/PROPOSED GENERAL PLAN: LIMITED MANUFACTURING
EXISTING/PROPOSED ZONING: M1-1
EXISTING LAND USE: WAREHOUSE

CODE ANALYSIS:
2021 CBC CODE:
BUILDING OCCUPANCY: B, S
CONSTRUCTION TYPE: III-B
FIRE SPRINKLERS (AUTOMATIC): YES
STORIES: 1

ZONING ANALYSIS:
MAX COVERAGE/FAR: 1%
REQ. LANDSCAPING: 1%
MAX. BLDG HEIGHT: 1%

PARKING/LOADING:
STANDARD STALL: 9'x18'
COMPACT STALL: 40% @ 7'-6"x15'
MIN. AISLE: 26' LANES

SITE PLAN & CITY NOTES

- NOTES:**
- THE PROPERTY IS NOT WITHIN A SPECIFIC PLAN.
 - THIS AREA IS NOT SUBJECT TO LIQUEFACTION OR OTHER GEOLOGIC HAZARDS WITHIN A SPECIAL STUDIES ZONE.
 - THIS PROPERTY IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
 - SUBSURFACE SEPTIC SEWAGE IS NOT INTENDED FOR THIS SITE.
 - THE PROPERTY DOES NOT CONTAIN ANY FLAMMABLE/COMBUSTIBLE MATERIALS OR WASTE.
 - THE PROPERTY'S WATER QUALITY FEATURES ARE SHOWN AS PART OF THE CIVIL PACKAGE.
 - LOADING SPACES WILL BE PAVED WITH CONCRETE.
 - SERVICE GATES WILL BE MANUALLY OPERATED W/ KNOX PAD LOCK. SIGN PROGRAM WILL BE UNDER SEPARATED PERMIT.
 - NO ABOVE/GROUND TANKS ARE PROVIDED.
 - SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS.
- FIRE DEPARTMENT NOTES:**
- FIRE DEPARTMENT ACCESS SHALL COMPLY WITH FIRE DEPARTMENT FIRE PROTECTION STANDARDS.
- CALGREEN NOTES:**
- PROJECT SITE IS LARGER THAN ONE ACRE - A STORM WATER POLLUTION PLAN IS REQUIRED (CG 5.106.1).
 - VISITOR BICYCLE PARKING RACKS SHALL BE PROVIDED WITHIN 200 FEET OF BUILDING ENTRANCES, FOR A MINIMUM OF 5% NEW VISITOR VEHICULAR PARKING (CG 5.106.4.1).
 - IN BUILDINGS WITH OVER 10 TENANT-OCCUPANTS, SECURE LONG-TERM BICYCLE ENCLOSURES OR LOCKERS SHALL BE PROVIDED ON-SITE, FOR A MINIMUM OF 5% NEW TENANT VEHICULAR PARKING (CG 5.106.5.1). COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT INDORS IN AMOUNTS

- PROPORTIONAL TO THE PARKING REQUIRED FOR EACH TENANT IMPROVEMENT.
- CLEAN AIR PARKING SPACES SHALL BE PROVIDED ON SITE FOR CARPOOLS & FUEL-EFFICIENT VEHICLES, FOR A MINIMUM NUMBER OF SPACES PROPORTIONAL TO REQUIRED VEHICLE PARKING PER CALGREEN TABLE (CG 5.106.5.2).
- LIGHTING DESIGN SHALL LIMIT GLARE AND UPLIGHT AND COMPLY WITH LOCAL CODES AND CALGREEN (CG 5.106.8).
- THIS PROJECT'S PLUMBING FIXTURES SHALL BE 20% WATER-CONSERVING (CG 5.303.2), BEING A SHELL BUILDING COMPLIANCE WITH THIS SECTION WILL BE PROVIDED IN EACH PERMIT FOR TENANT IMPROVEMENT.
- FOR PROJECTS WITH OVER 1,000 S.F. OF LANDSCAPING, SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR OUTDOOR POTABLE WATER USE, AND IRRIGATION SYSTEM SHALL HAVE WEATHER- OR SOIL MOISTURE-BASED AUTOMATIC CONTROLLERS (CG 5.304.2&3).
- A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE DEVELOPED, DEMONSTRATING A MINIMUM OF 50% RECYCLING AND/OR SALVAGING OF NON-HAZARDOUS CONSTRUCTION WASTE AND COMPLYING WITH CALGREEN REQUIREMENTS (CG 5.408.1).
- 100% OF LAND-CLEARED SOILS AND VEGETATION SHALL BE REUSED OR RECYCLED (CG 5.408.3).
- PER SECTION 5.410.2, EXCEPTIONS 1 & 2, COMMISSIONING IS NOT REQUIRED FOR DRY STORAGE WAREHOUSES OR AREAS USED FOR OFFICES LESS THAN 10,000 SF IN DRY STORAGE WAREHOUSES. (CG 5.410.2).
- ALL CONSTRUCTION MATERIALS TO COMPLY WITH THE VOC AND TOXIN LIMITS LISTED (CG 5.504).
- SMOKING SHALL BE PROHIBITED WITHIN 25 FEET OF BUILDING ENTRIES, AIR INTAKES, AND OPERABLE WINDOWS (CG 5.504.7).

PROJECT INFO | 6

SITE AREA	BUILDING 1	BUILDING 2	TOTAL
Site Area (SF)	788,265	428,499	1,216,764
Site Area (Acres)	18.10	9.84	27.93

BUILDING AREA	BUILDING 1	BUILDING 2	TOTAL
Ground Floor Office	12,800	5,000	17,800
Warehouse	417,200	154,000	571,200
Total Building Footprint	430,000	159,000	589,000
Mezzanine	12,800	5,000	17,800
TOTAL BUILDING AREA	442,800	164,000	606,800

COVERAGE	BUILDING 1	BUILDING 2	TOTAL
FAR	54.6%	37.1%	48.4%
	56.2%	38.3%	49.9%

PARKING REQUIRED	BUILDING 1	BUILDING 2	TOTAL
Office	1/500	51.2	20
Warehouse	0 - 10,000 sf / 1/500	20	20
	10,000 sf + / 1/5000	82	29
TOTAL PARKING REQUIRED	153	69	222

PARKING PROVIDED	BUILDING 1	BUILDING 2	TOTAL
Office	294	116	410
PARKING RATIO	0.6/1000	0.6/1000	0.6/1000

DOCK DOORS	BUILDING 1	BUILDING 2	TOTAL
GRADE DOORS	68	25	93
TRAILER STALLS	4	2	6
	19	0	19

PROJECT TABULATIONS | 5

KEYNOTES

- GENERAL
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 - EASEMENT - REFER TO CIVIL DRAWINGS
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 - BICYCLE RACK PER CAL GREEN; SHORT-TERM 5% OF VISITOR PARKING - REFER TO TABULATIONS
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 - ELECTRICAL TRANSFORMER
 - (C) POWER POLE
 - (E) FIRE HYDRANT

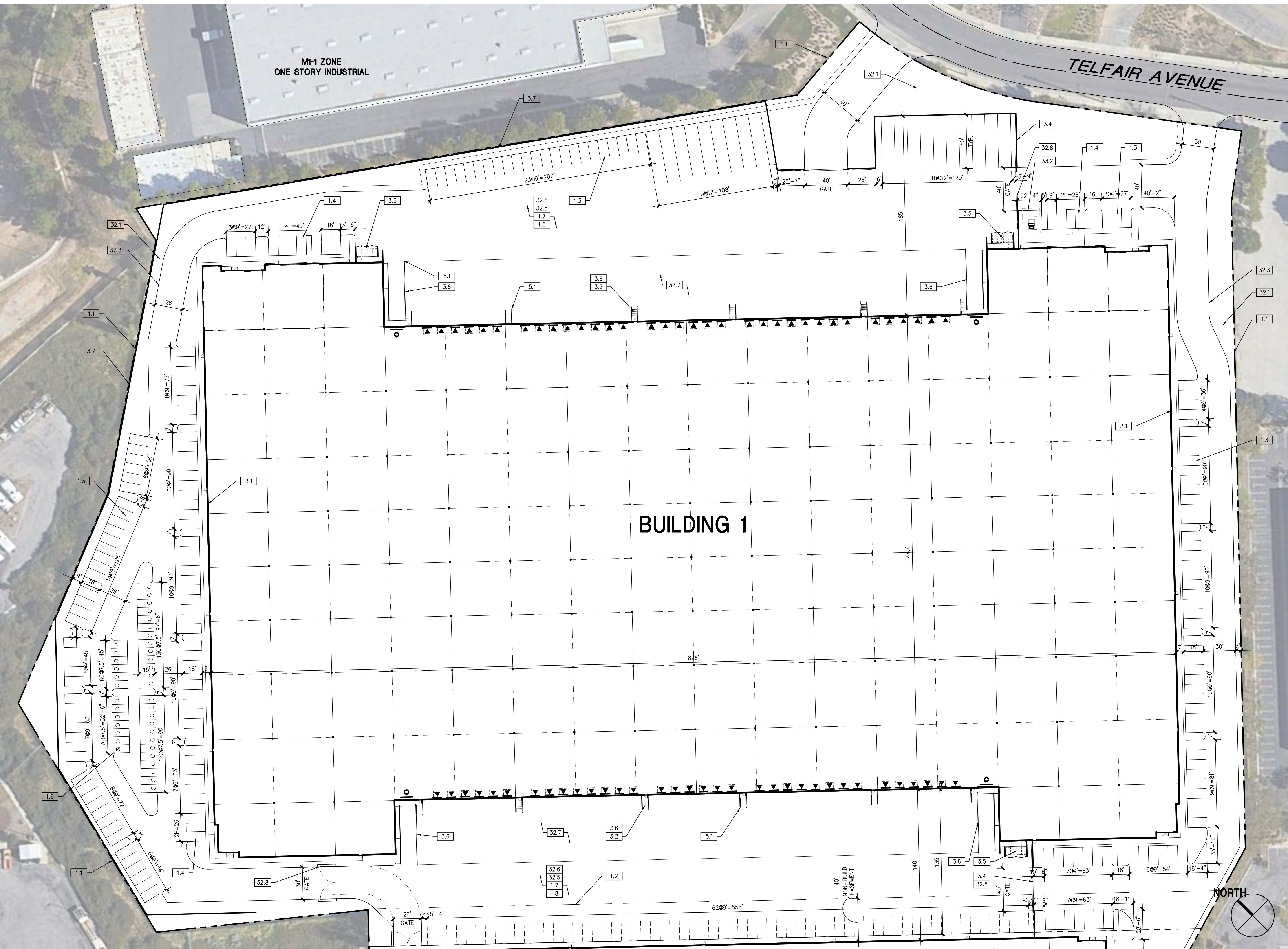
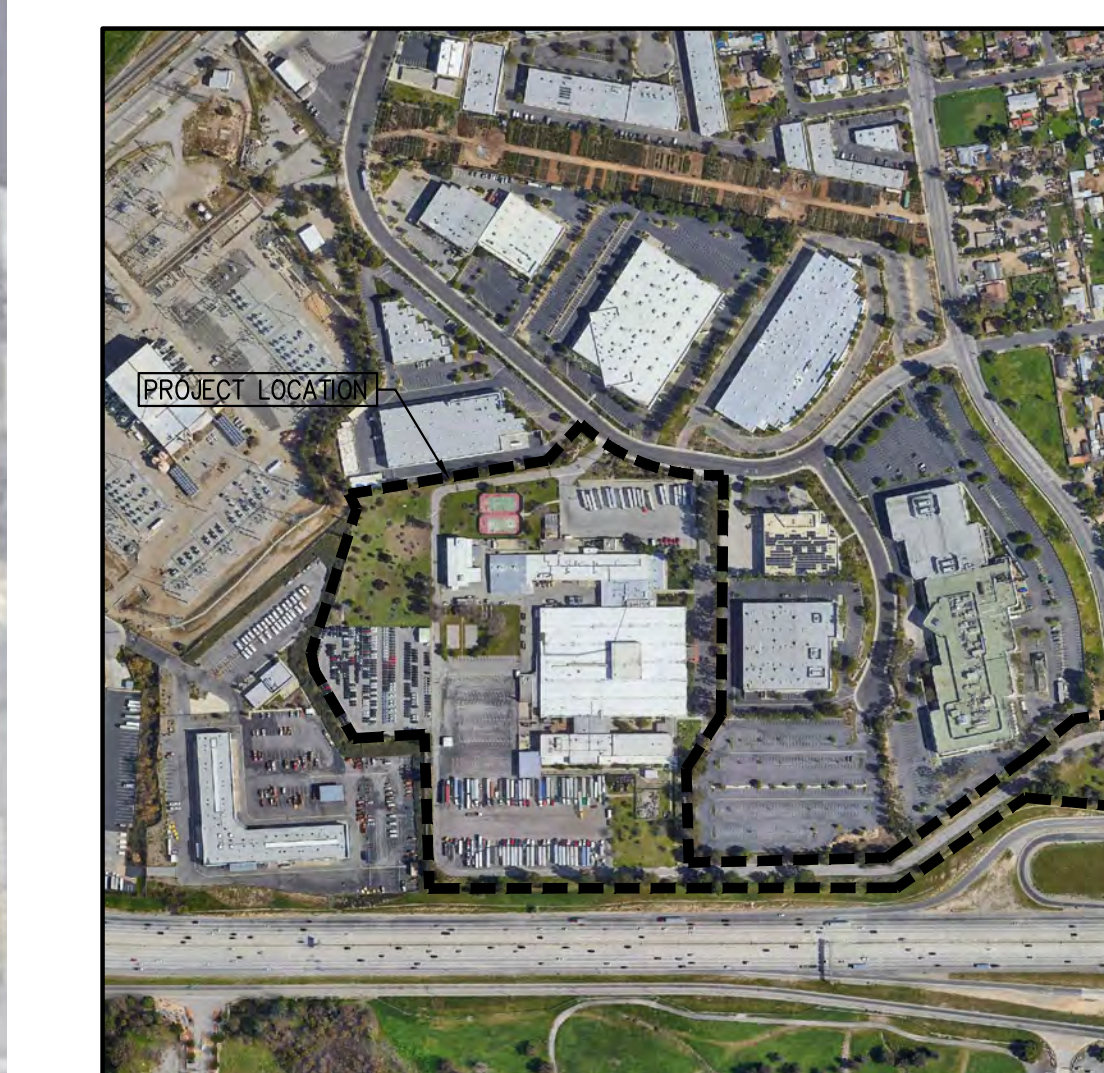
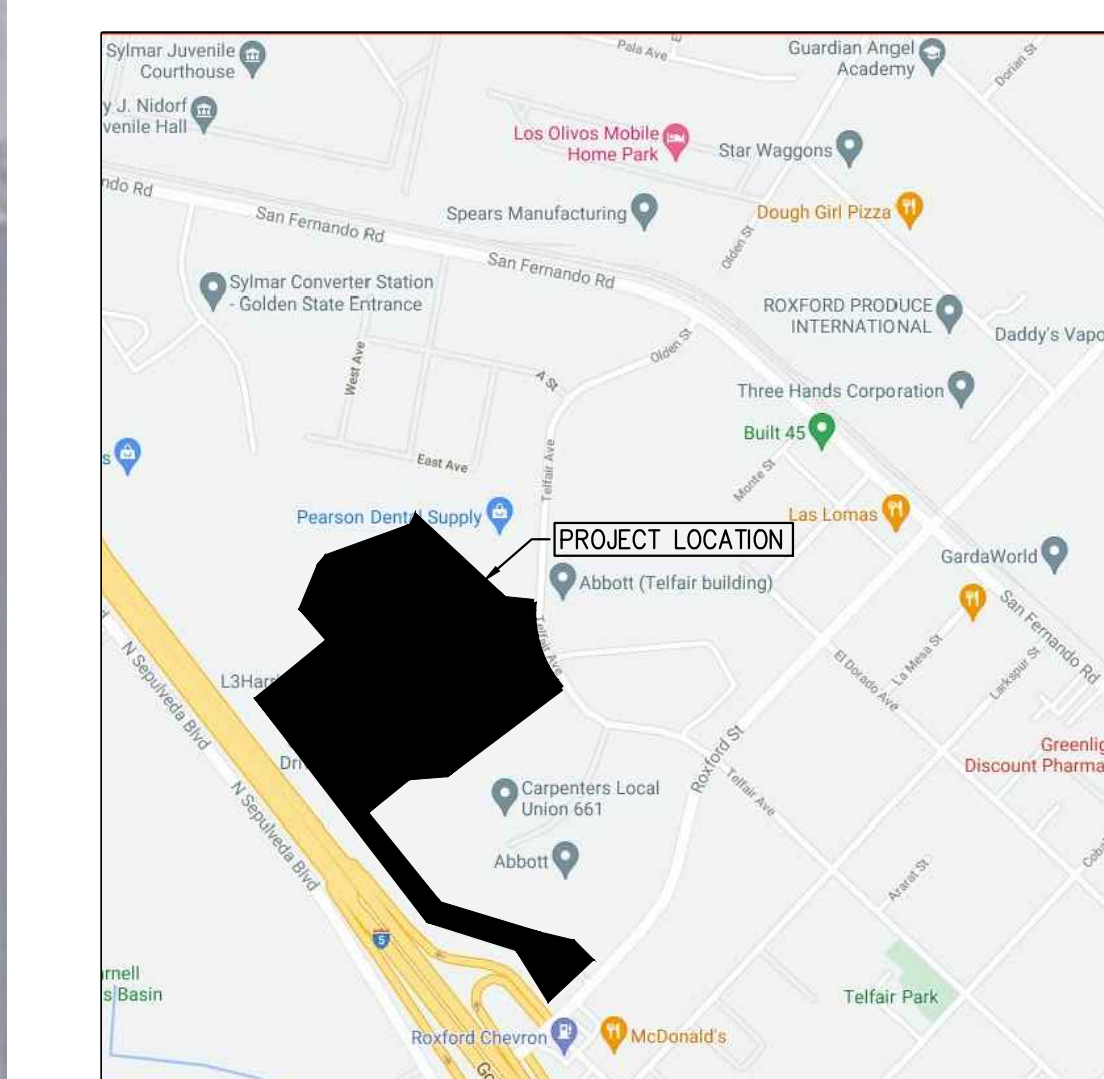
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SITE PLAN - LEGEND

- ACCESSIBLE PATH OF TRAVEL - 4' WIDE MINIMUM - 1:20 MAX RUNNING SLOPE (U.N.O.), AND 1:48 MAX CROSS SLOPE
- ACCESSIBLE PARKING STALL(S), TYP.
- CA/CP PARKING STALL MARKING PER CALGREEN CLEAN AIR/VANPOOL/EV, TYP.
- C COMPACT PARKING STALL(S), TYP.
- LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS
- FIRE LANE - PER FIRE DEPARTMENT REQUIREMENTS
- 12' X 14' SECTIONAL GRADE DOOR. REFER TO ELEVATIONS
- 9' X 10' SECTIONAL DOCK HIGH DOOR. REFER TO ELEVATIONS

KEYNOTES | NTS | 3



SITE PLAN | 1:40 | 4

GAA ARCHITECTS
8811 Research Drive,
Suite 200,
Irvine, CA 92618
T: 949 474 1775
F: 949 553 9133

ROXFORD STREET INDUSTRIAL BLDG
15825 ROXFORD ST.
SYLMAR, CA 91342
DEVELOPED FOR:
ROXFORD XC LLC.

NO.	DESCRIPTION	DATE
1	PROGRESS SET	07/30/21

ENLARGED SITE PLAN
BUILDING 1

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JOB NO:	XRP040.01	SHEET NO:	A1.2
DATE:	7/28/21		
DRAWN:	GAA		
FILE NAME:	XRP040.01_A1.2		

KEYNOTES

- 1.0 GENERAL
1.1 INTERIOR CLEAR HEIGHT 'X' MEASURED FROM X
1.2 LINE OF ROOF BEYOND
- 3.0 CONCRETE
3.1 TILT-UP CONCRETE WALL PANEL (PAINTED, ALL EXTERIOR SURFACES)
3.2 PANEL JOINT
3.3 PANEL REVEAL, REVEAL COLOR TO MATCH ADJACENT FIELD COLOR.
3.4 CONCRETE STAIRS W/ HANDRAIL & 42" HIGH GUARDRAIL
3.5 TILT-UP CONCRETE SCREEN WALL PANEL (PAINTED ALL SIDES)
- 5.0 METALS
5.1 EXTERIOR METAL DOWNSPOUT WITH ROOF AND OVERFLOW SCUPPER.
ROOF DRAIN TO MANIFOLD TO STORM DRAIN, PAINTED TO MATCH
ADJACENT WALL
5.2 METAL CANOPY
- 8.0 OPENINGS
8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT, DUAL GLAZE
8.2 ALUMINUM AND GLASS ENTRY DOOR - REFER TO DOOR SCHEDULE
8.3 HOLLOW METAL MAN DOOR, PAINTED
8.4 9'W x 10'H OVERHEAD SECTIONAL DOOR, PAINTED
8.5 12'W x 14'H OVERHEAD SECTIONAL GRADE DOOR, PAINTED
- 10.0 SPECIALTIES
10.1 STREET ADDRESS - SIZE AS REQUIRED BY GOVERNING AGENCY BUT NOT LESS THAN 12"
10.2 BUILDING/ TENANT SIGNAGE (N.I.C.)
- 11.0 EQUIPMENT
11.1 DOCK BUMPERS - COORDINATE W/ MFR & STRUCTURAL DRAWINGS. SIZE AS NEEDED TO PREVENT TOP OF TRAILER FROM STRIKING BUILDING WALL.
- 22.0 PLUMBING
22.1 INTERNAL ROOF DRAIN W/ OVERFLOW DRAIN TYP. AT ENTRY AND STREETSIDE ELEVATION (NOT SHOWN)

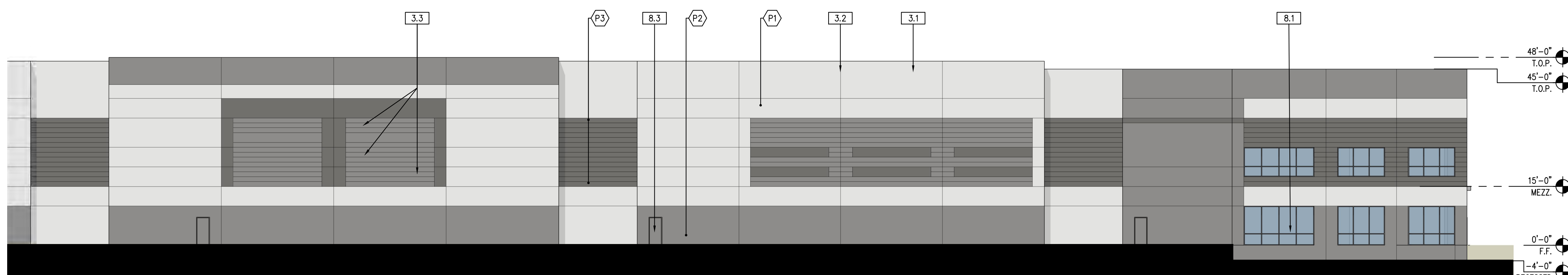
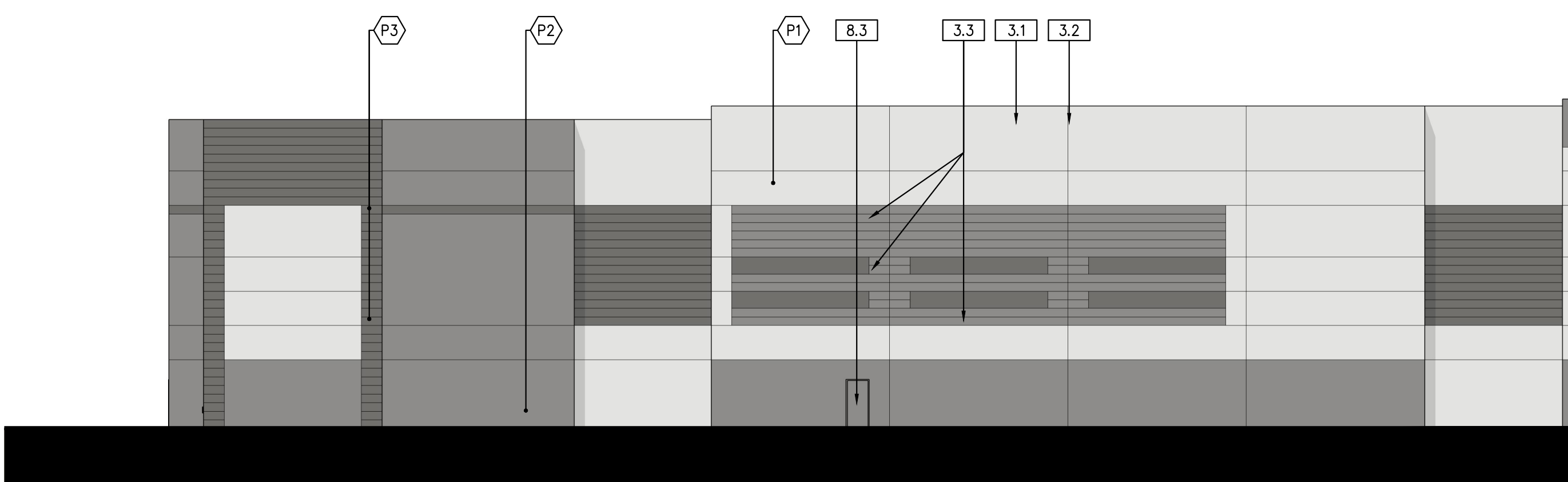
GENERAL NOTES

- MECHANICAL ROOF EQUIPMENT TO BE SCREENED FROM VIEW.
- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS AND REVEAL LINES UNLESS NOTED OTHERWISE. REVEAL COLOR TO MATCH THE ADJACENT FIELD COLOR.
- PROVIDE 8'-0" WIDE COLOR SAMPLE ON BUILDING, FULL HEIGHT FROM BASE TO PARAPET FOR APPROVAL BY ARCHITECT AND OWNER PRIOR TO PAINTING.
- ALL PAINT, STAIN, SANDBLAST, ETC. FINISHES AND JOINTS/REVEALS SHOWN IN ELEVATION VIEW SHALL RETURN TO THE NEAREST INSIDE CORNER OR INTO WINDOW JAMBES.
- ALL WALL PAINT FINISHES ARE TO BE FLAT, METAL PAINT TO BE SEMI-GLOSS UNLESS NOTED OTHERWISE.
- BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- T.O.P. = TOP OF PARAPET ELEVATION
- F.F. = FINISH FLOOR ELEVATION
- MEZZ. = MEZZANINE FLOOR ELEVATION
- STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS, AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.

COLOR SCHEDULE / MATERIALS

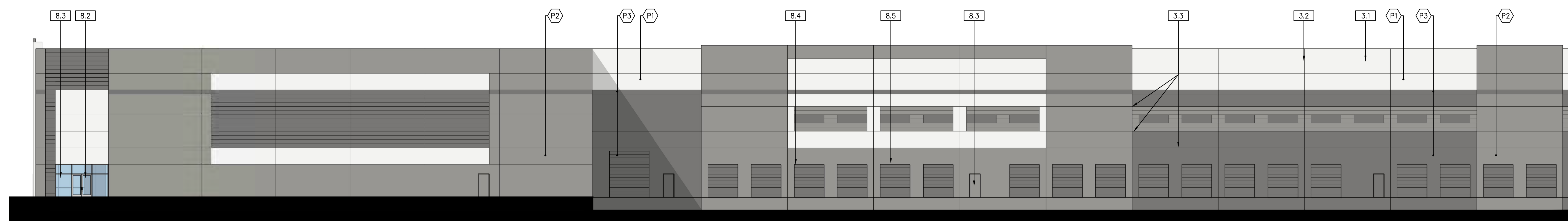
- G1 GLAZING MEDIUM PERFORMANCE
COLOR: BLUE
- M1 CANOPY ALUMINUM
FINISH: CLEAR ANODIZED
- M2 MULLIONS ALUMINUM
FINISH: CLEAR ANODIZED
- P1 PAINT 1 DUNN EDWARDS "PORPOISE" DE6373 OR SIMILAR
MAIN BUILDING COLOR - LIGHT
- P2 PAINT 2 DUNN EDWARDS "LOOKING GLASS" DE6376 OR SIMILAR
BUILDING BASE COLOR - MEDIUM
- P3 PAINT 3 DUNN EDWARDS "BOAT ANCHOR" DE6377 OR SIMILAR
DARK BAND COLOR - DARK

DOORS TO MATCH ADJACENT BUILDING COLOR

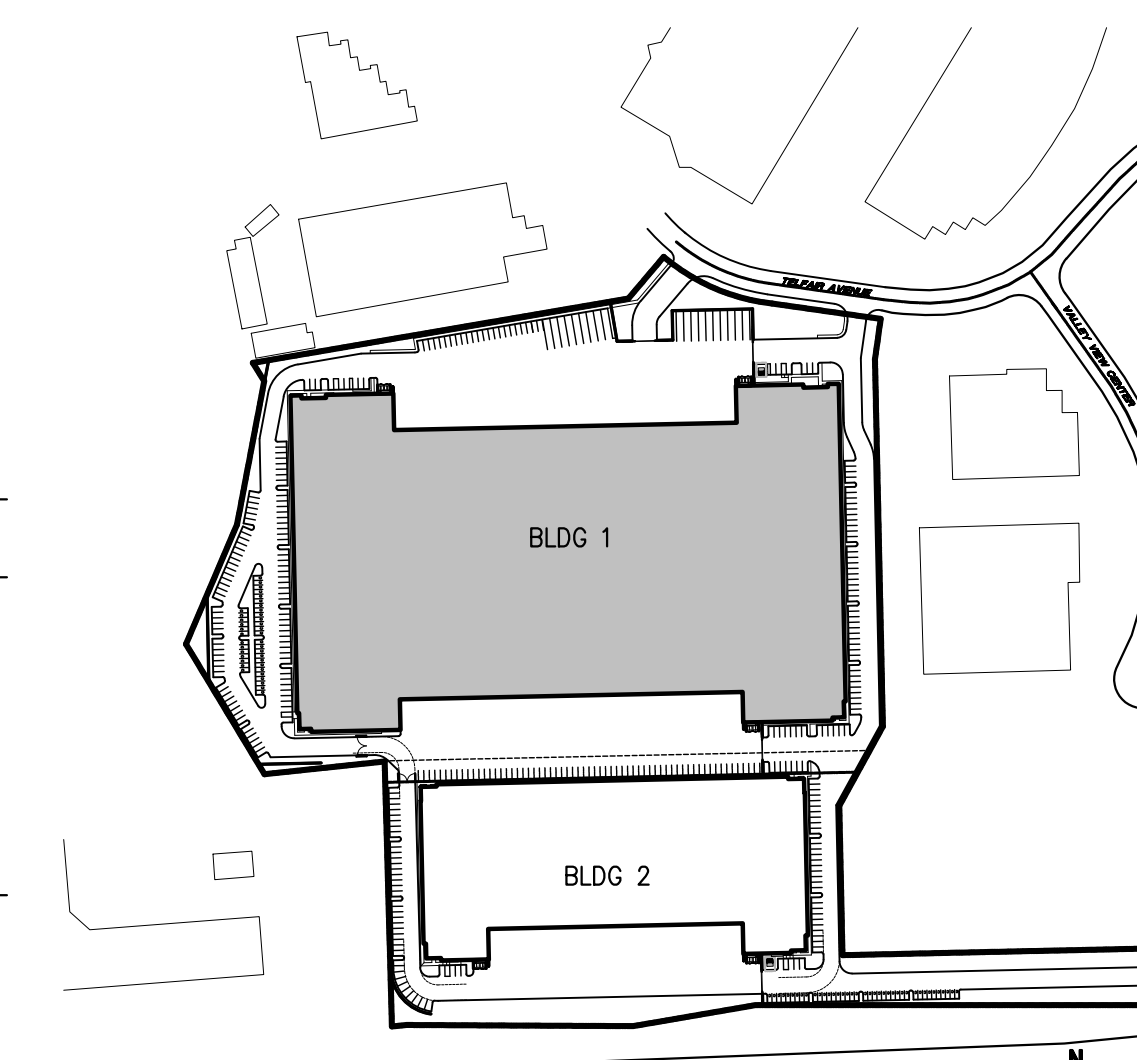


WEST ELEVATION | 1/16"=1' | 4

KEYNOTES | 2



NORTH ELEVATION | 1/16"=1' | 3



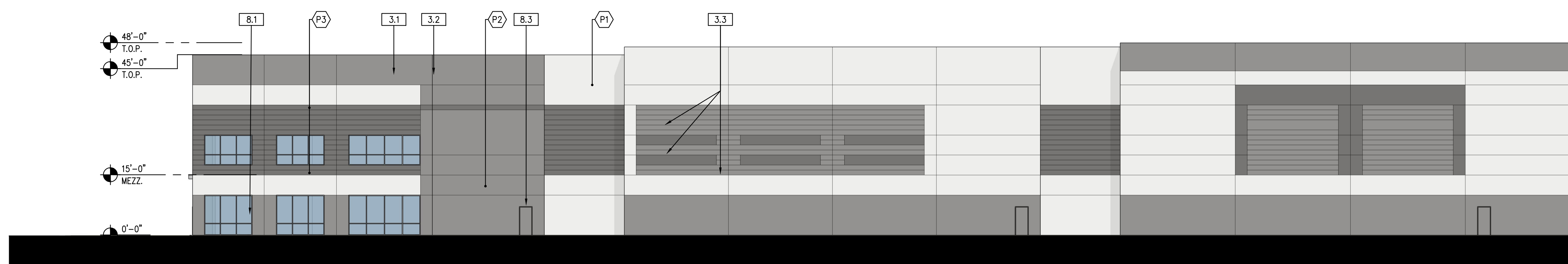
KEYMAP | NTS | 1

NO.	DESCRIPTION	DATE
1	PROGRESS SET	07/30/21

**ELEVATIONS
BUILDING 1**

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DRAWN:	GAA		
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KEYNOTES

- 1.0 GENERAL
 - 1.1 INTERIOR CLEAR HEIGHT 'X' MEASURED FROM X
 - 1.2 LINE OF ROOF BEYOND
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE WALL PANEL (PAINTED, ALL EXTERIOR SURFACES)
 - 3.2 PANEL JOINT
 - 3.3 PANEL REVEAL, REVEAL COLOR TO MATCH ADJACENT FIELD COLOR.
 - 3.4 CONCRETE STAIRS W/ HANDRAIL & 42" HIGH GUARDRAIL
 - 3.5 TILT-UP CONCRETE SCREEN WALL PANEL (PAINTED ALL SIDES)
- 5.0 METALS
 - 5.1 EXTERIOR METAL DOWNSPOUT WITH ROOF AND OVERFLOW SCUPPER. ROOF DRAIN TO MANIFOLD TO STORM DRAIN, PAINTED TO MATCH ADJACENT WALL METAL CANOPY
 - 5.2 METAL CANOPY
- 8.0 OPENINGS
 - 8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT, DUAL GLAZE
 - 8.2 ALUMINUM AND GLASS ENTRY DOOR - REFER TO DOOR SCHEDULE
 - 8.3 HOLLOW METAL MAN DOOR, PAINTED
 - 8.4 9'W x 10'H OVERHEAD SECTIONAL DOCK DOOR, PAINTED
 - 8.5 12'W x 14'H OVERHEAD SECTIONAL GRADE DOOR, PAINTED
- 10.0 SPECIALTIES
 - 10.1 STREET ADDRESS - SIZE AS REQUIRED BY GOVERNING AGENCY BUT NOT LESS THAN 12"
 - 10.2 BUILDING/ TENANT SIGNAGE (N.L.C.)
- 11.0 EQUIPMENT
 - 11.1 DOCK BUMPERS - COORDINATE W/ MFR & STRUCTURAL DRAWINGS. SIZE AS NEEDED TO PREVENT TOP OF TRAILER FROM STRIKING BUILDING WALL.
- 22.0 PLUMBING
 - 22.1 INTERNAL ROOF DRAIN W/ OVERFLOW DRAIN TYP. AT ENTRY AND STREETSIDE ELEVATION (NOT SHOWN)

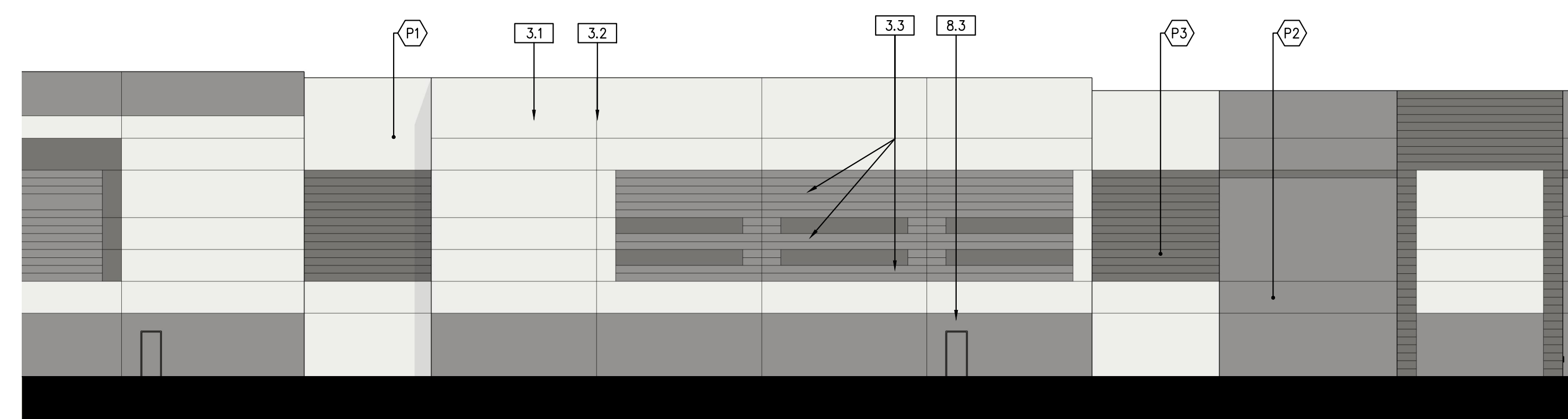
GENERAL NOTES

1. MECHANICAL ROOF EQUIPMENT TO BE SCREENED FROM VIEW.
2. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS AND REVEAL LINES UNLESS NOTED OTHERWISE. REVEAL COLOR TO MATCH THE ADJACENT FIELD COLOR.
3. PROVIDE 8"-0" WIDE COLOR SAMPLE ON BUILDING, FULL HEIGHT FROM BASE TO PARAPET FOR APPROVAL BY ARCHITECT AND OWNER PRIOR TO PAINTING.
4. ALL PAINT, STAIN, SANDBLAST, ETC. FINISHES AND JOINTS/REVEALS SHOWN IN ELEVATION VIEW SHALL RETURN TO THE NEAREST INSIDE CORNER OR INTO WINDOW JAMBES.
5. ALL WALL PAINT FINISHES ARE TO BE FLAT, METAL PAINT TO BE SEMI-GLOSS UNLESS NOTED OTHERWISE.
6. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
7. T.O.P. = TOP OF PARAPET ELEVATION
8. F.F. = FINISH FLOOR ELEVATION
9. MEZZ. = MEZZANINE FLOOR ELEVATION
10. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS, AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.

COLOR SCHEDULE / MATERIALS

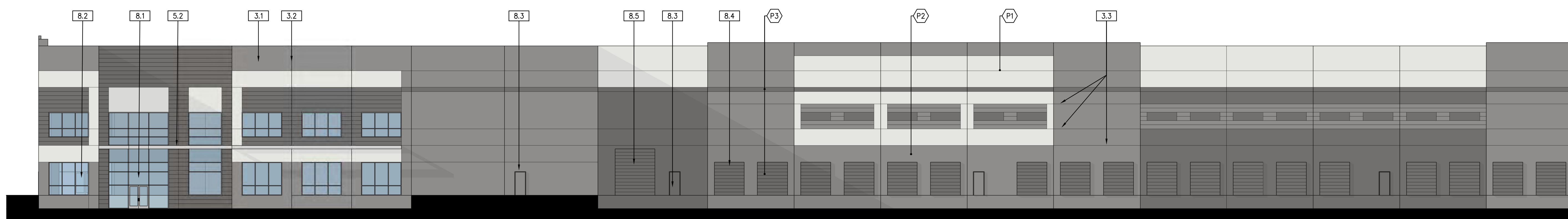
- G1 GLAZING MEDIUM PERFORMANCE
COLOR: BLUE
- M1 CANOPY ALUMINUM
FINISH: CLEAR ANODIZED
- M2 MULLIONS ALUMINUM
FINISH: CLEAR ANODIZED
- P1 PAINT 1 DUNN EDWARDS "PORPOISE" DE6373 OR SIMILAR
MAIN BUILDING COLOR - LIGHT
- P2 PAINT 2 DUNN EDWARDS "LOOKING GLASS" DE6376 OR SIMILAR
BUILDING BASE COLOR - MEDIUM
- P3 PAINT 3 DUNN EDWARDS "BOAT ANCHOR" DE6377 OR SIMILAR
DARK BAND COLOR - DARK

DOORS TO MATCH ADJACENT BUILDING COLOR

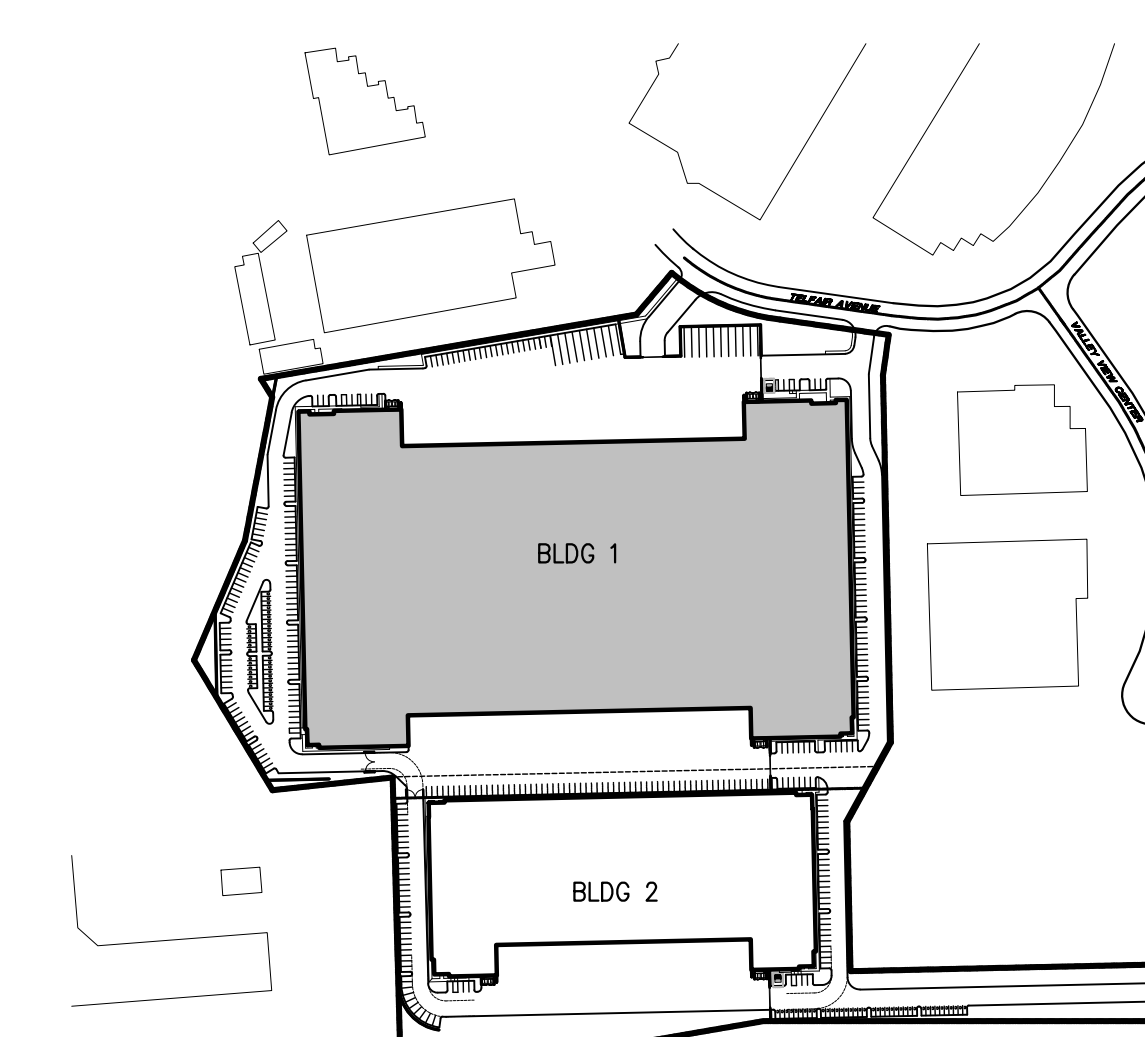


EAST ELEVATION | 1/16"=1' | 4

KEYNOTES | 2



SOUTH ELEVATION | 1/16"=1' | 3



KEYMAP | NTS | 1

NO.	DESCRIPTION	DATE
1	PROGRESS SET	07/30/21

**ELEVATIONS
BUILDING 1**

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JOB NO:	XRP040.01	SHEET NO:	A4.1A
DATE:	7/28/21		
DRAWN:	GAA		
FILE NAME:	XRP040.01_A4.1A		

KEYNOTES

- 1.0 GENERAL
 - 1.1 INTERIOR CLEAR HEIGHT 'X' MEASURED FROM X
 - 1.2 LINE OF ROOF BEYOND
- 3.0 CONCRETE
 - 3.1 TILT-UP CONCRETE WALL PANEL (PAINTED, ALL EXTERIOR SURFACES)
 - 3.2 PANEL JOINT
 - 3.3 PANEL REVEAL, REVEAL COLOR TO MATCH ADJACENT FIELD COLOR.
 - 3.4 CONCRETE STAIRS W/ HANDRAIL & 42" HIGH GUARDRAIL
 - 3.5 TILT-UP CONCRETE SCREEN WALL PANEL (PAINTED ALL SIDES)
- 5.0 METALS
 - 5.1 EXTERIOR METAL DOWNSPOUT WITH ROOF AND OVERFLOW SCUPPER. ROOF DRAIN TO MANIFOLD TO STORM DRAIN, PAINTED TO MATCH ADJACENT WALL.
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 - 8.1 EXTRUDED ALUMINUM AND GLASS STOREFRONT, DUAL GLAZE
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 - 22.1 INTERNAL ROOF DRAIN W/ OVERFLOW DRAIN TYP. AT ENTRY AND STREETSIDE ELEVATION (NOT SHOWN)

GENERAL NOTES

1. MECHANICAL ROOF EQUIPMENT TO BE SCREENED FROM VIEW.
2. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS AND REVEAL LINES UNLESS NOTED OTHERWISE. REVEAL COLOR TO MATCH THE ADJACENT FIELD COLOR.
3. PROVIDE 8'-0" WIDE COLOR SAMPLE ON BUILDING, FULL HEIGHT FROM BASE TO PARAPET FOR APPROVAL BY ARCHITECT AND OWNER PRIOR TO PAINTING.
4. ALL PAINT, STAIN, SANDBLAST, ETC. FINISHES AND JOINTS/REVEALS SHOWN IN ELEVATION VIEW SHALL RETURN TO THE NEAREST INSIDE CORNER OR INTO WINDOW JAMBES.
5. ALL WALL PAINT FINISHES ARE TO BE FLAT, METAL PAINT TO BE SEMI-GLOSS UNLESS NOTED OTHERWISE.
6. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
7. T.O.P. = TOP OF PARAPET ELEVATION
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10. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS, AND LINTELS SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE, "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.

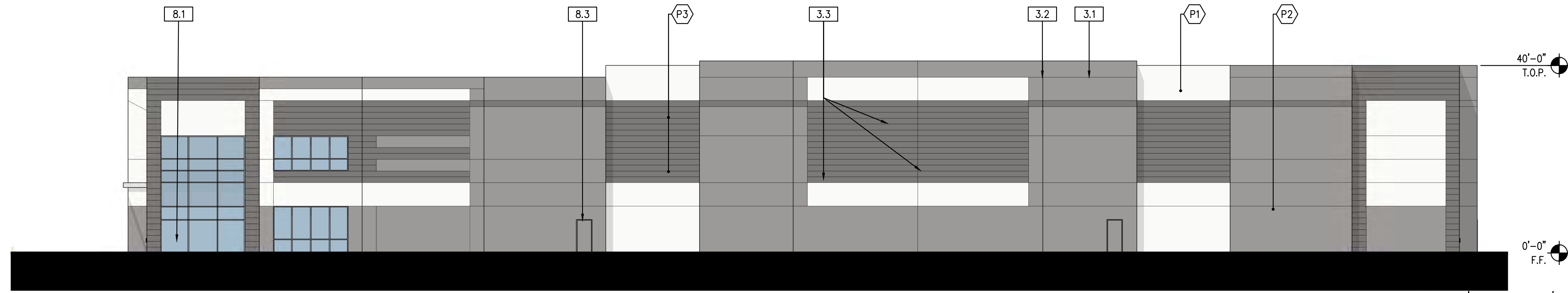
COLOR SCHEDULE / MATERIALS

- G1 GLAZING MEDIUM PERFORMANCE COLOR: BLUE
- M1 CANOPY ALUMINUM FINISH: CLEAR ANODIZED
- M2 MULLIONS ALUMINUM FINISH: CLEAR ANODIZED
- P1 PAINT 1 DUNN EDWARDS "PORPOISE" DE6373 OR SIMILAR MAIN BUILDING COLOR - LIGHT
- P2 PAINT 2 DUNN EDWARDS "LOOKING GLASS" DE6376 OR SIMILAR BUILDING BASE COLOR - MEDIUM
- P3 PAINT 3 DUNN EDWARDS "BOAT ANCHOR" DE6377 OR SIMILAR DARK BAND COLOR - DARK

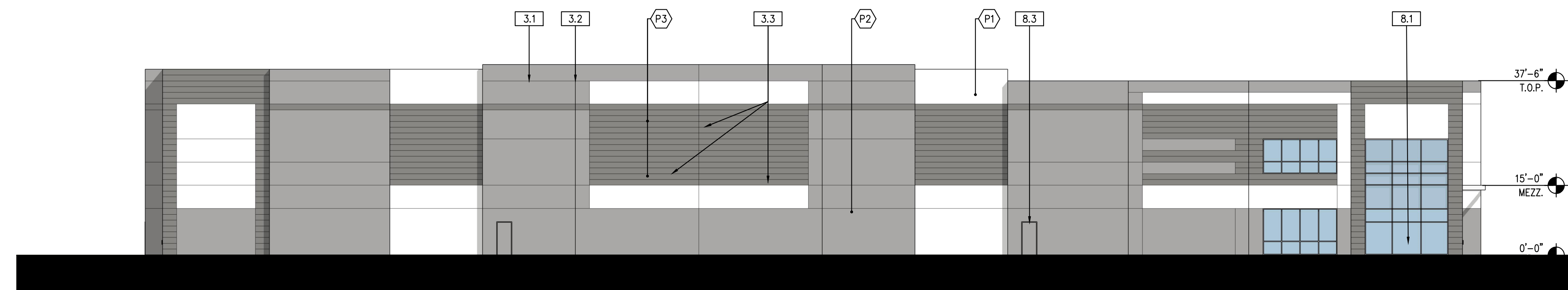
DOORS TO MATCH ADJACENT BUILDING COLOR

KEYNOTES

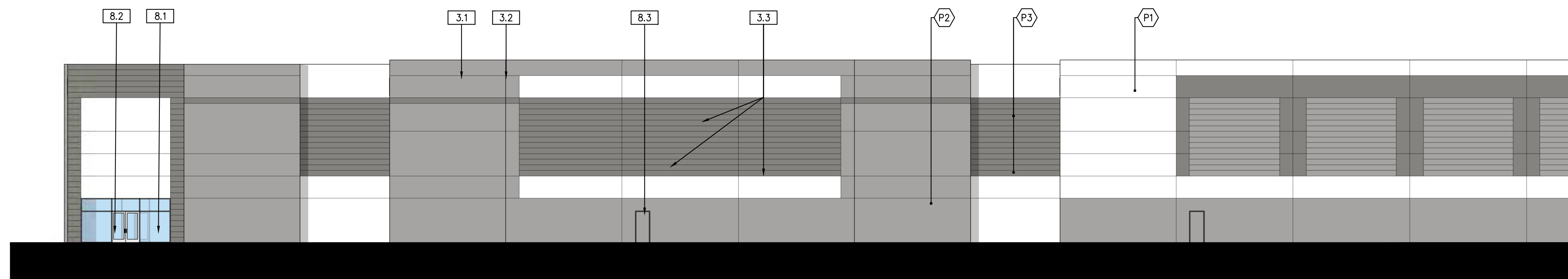
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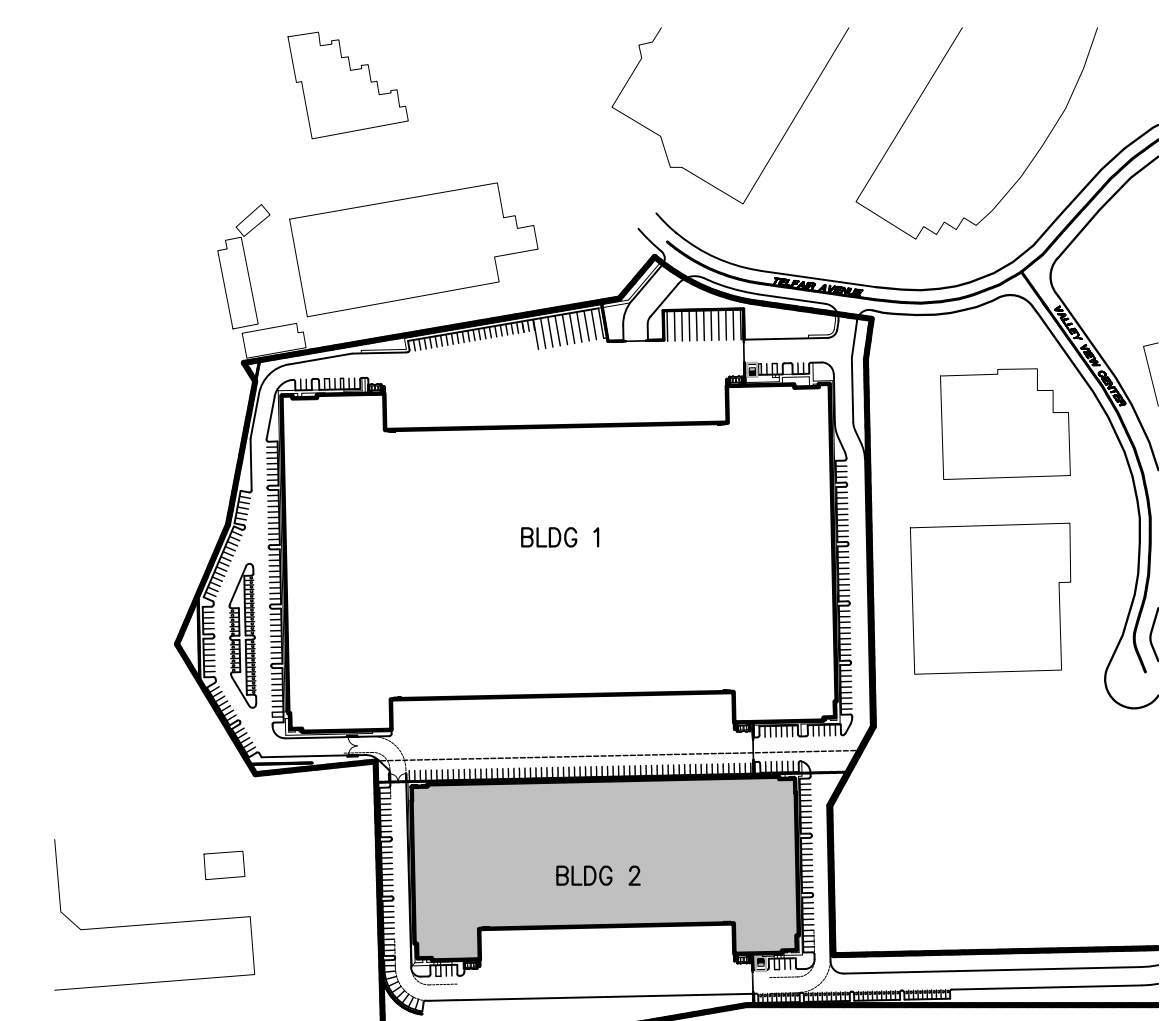
EAST ELEVATION | 1/16"=1' | 5



WEST ELEVATION | 1/16"=1' | 4



NORTH ELEVATION | 1/16"=1' | 3



KEYMAP | NTS | 1

NO.	DESCRIPTION	DATE
△	PROGRESS SET	07/30/21

**ELEVATIONS
BUILDING 2**

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JOB NO.	XRP040.01	SHEET NO.	A4.2
DATE	7/28/21		
DRAWN	GAA		
FILE NAME	XRP040.01_A4.2		

KEYNOTES

- 1.0 GENERAL
 - 1.1 INTERIOR CLEAR HEIGHT 'X' MEASURED FROM X
 - 1.2 LINE OF ROOF BEYOND
- 3.0 CONCRETE
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GENERAL NOTES

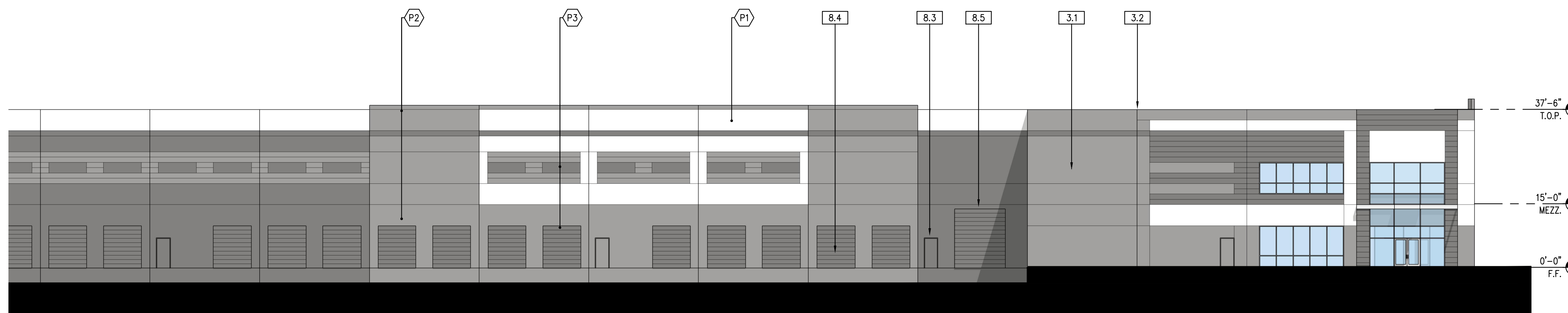
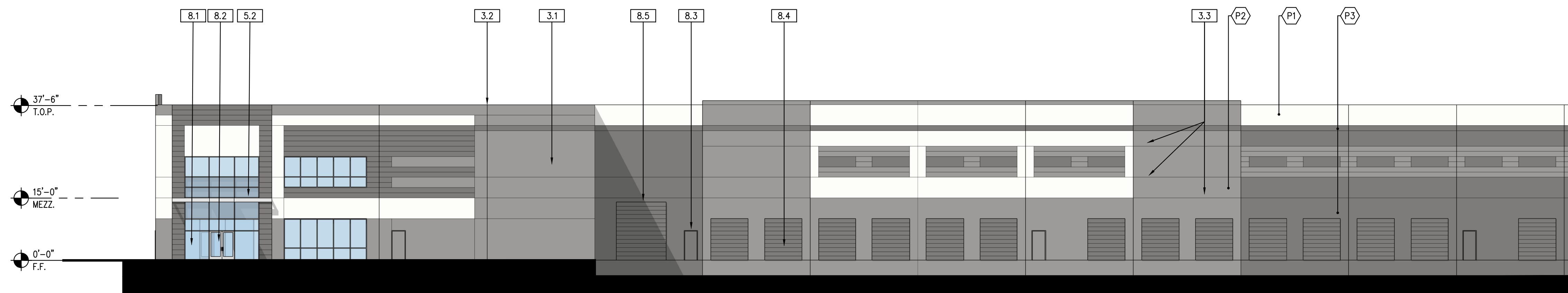
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COLOR SCHEDULE / MATERIALS

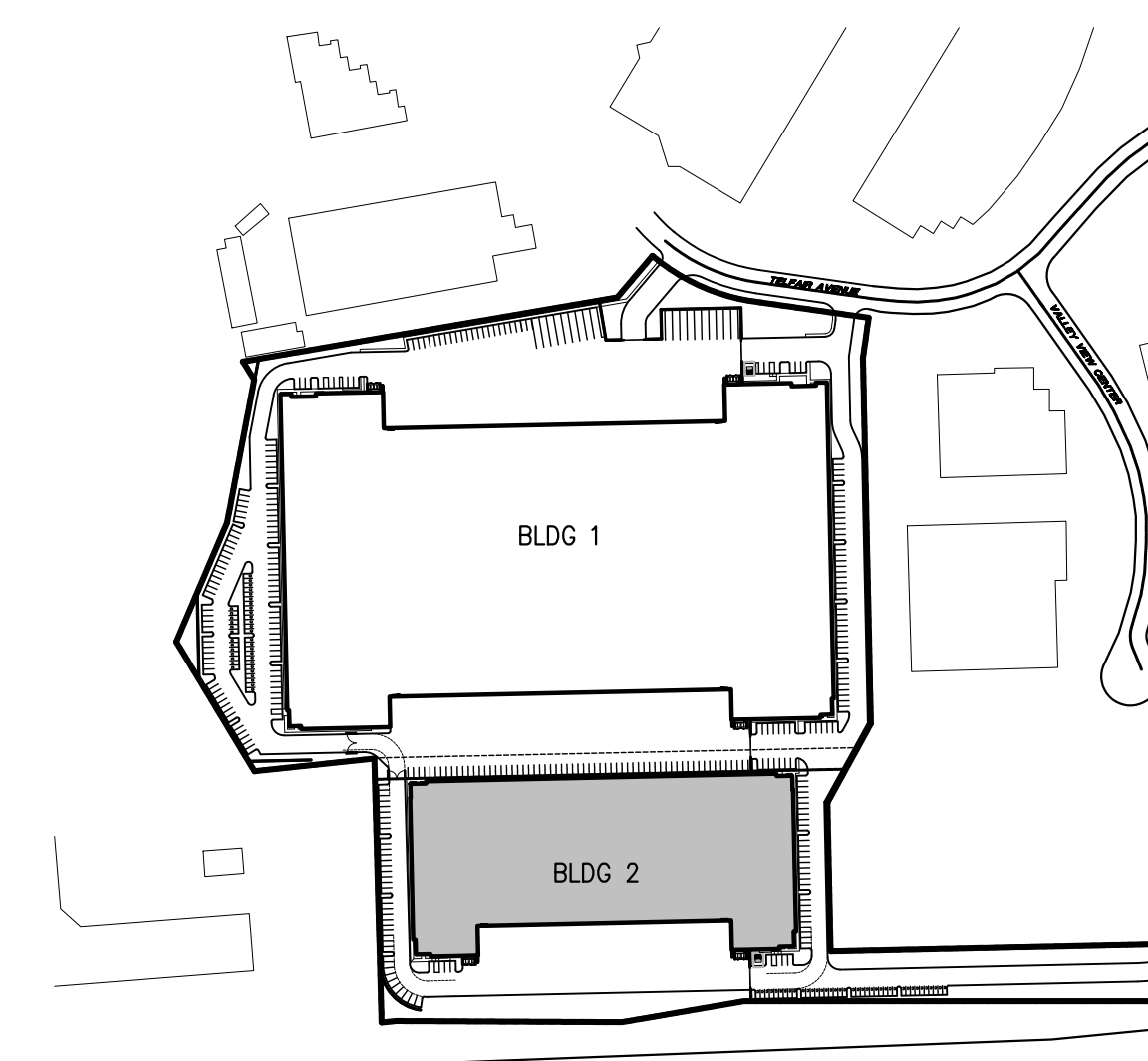
- | | |
|-------------|--|
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| M1 CANOPY | ALUMINUM
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DARK BAND COLOR - DARK |

DOORS TO MATCH ADJACENT BUILDING COLOR

KEYNOTES | - | 2 |



SOUTH ELEVATION | 1/16"=1' | 3



KEYMAP | NTS | 1

NO.	DESCRIPTION	DATE
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ELEVATIONS
BUILDING 2

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