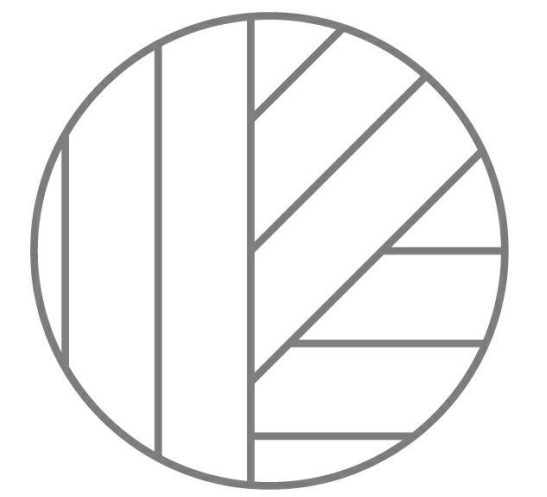




NORTHWEST VIEW NTS 1



WEST ELEVATION NTS 3



JZA
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JEFF ZBIKOWSKI ARCHITECTURE
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INFO@JZARCH.LA

SEAL:



REVISIONS

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CLIENT NAME:

R2H SYLMAR LLC
12034 NUGENT DR
GRANADA HILLS, CA 91344

PROJECT NAME:

SYLMAR VILLAGE

NOT FOR CONSTRUCTION

PROJECT ADDRESS:

12534 SAN FERNANDO RD
SYLMAR, CA 91342

JOB NUMBER:

2203

DATE:

8.19.2022

SHEET TITLE:

RENDERINGS

SHEET NUMBER:

G003

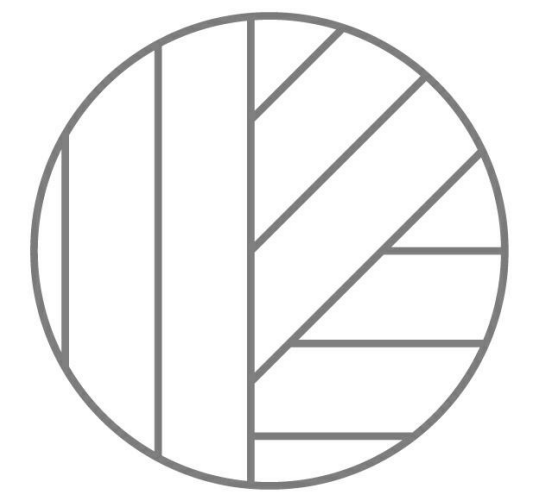
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KEYNOTES

- 012 TREE. SEE LANDSCAPE DWGS.
- 013 LID PLANTER. SEE CIVIL DWGS. SEE LANDSCAPE DWGS.
- 014 LANDSCAPE. SEE LANDSCAPE DWGS.
- 019 (E) UTILITY POLE RELOCATED. NOT A PART.
- 019E (E) UTILITY POLE REMOVED AND RELOCATED. SEE 019 FOR NEW LOCATION. NOT A PART.
- 2101 20 MIN FIRE SHUTTERWATER CURTAIN. SEE FIRE PROTECTION DWGS.
- 2600 TRANSFORMER AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS.
- 2601 SWITCH GEAR AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS.



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REVISIONS

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO.
- C. ALL DIMENSIONS INDICATED AS 'CLR' ARE FROM FINISH TO FINISH.
- D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
- E. GRADE AWAY FROM FOOTINGS, 1% MIN
- F. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FD311.
- G. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 9 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
- H. ANCILLARY LIGHTING SHALL BE PROVIDED ALONG PEDESTRIAN AND VEHICULAR ACCESSWAYS. ALL OUTDOOR LIGHTING AND DIRECT LIGHTING SHALL BE SHIELDED ONTO THE PATHWAY.

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GRANADA HILLS, CA 91344

PROJECT NAME:
SYLMAR VILLAGE

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
**12534 SAN FERNANDO RD
SYLMAR, CA 91342**

JOB NUMBER:
2203

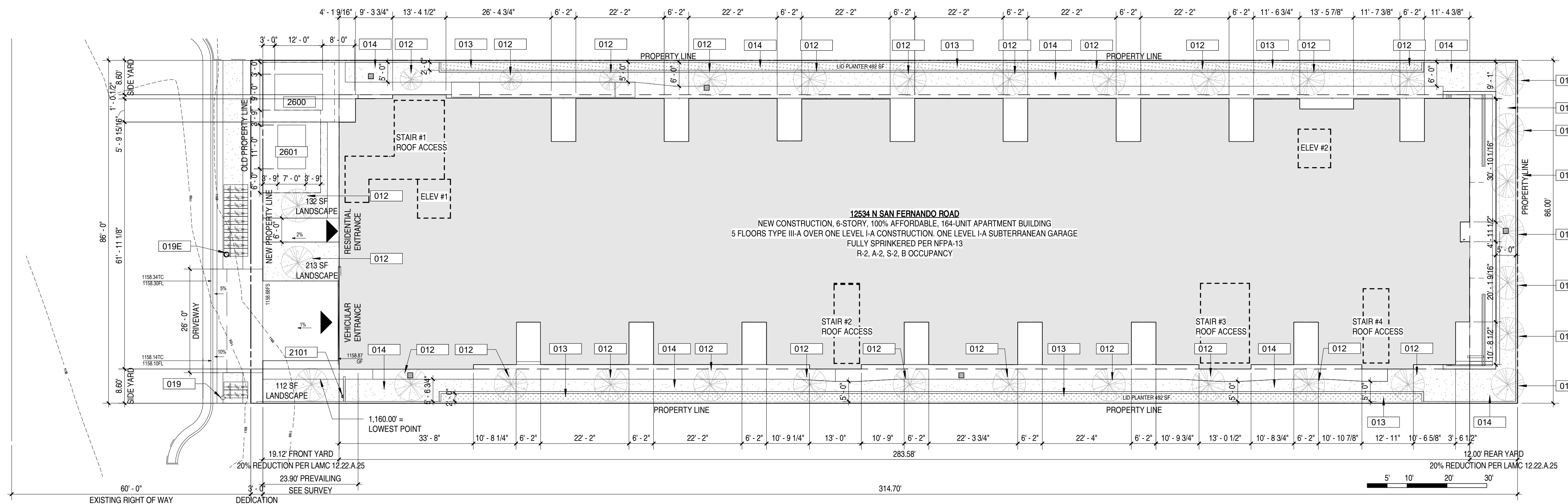
DATE:
8.19.2022

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A000

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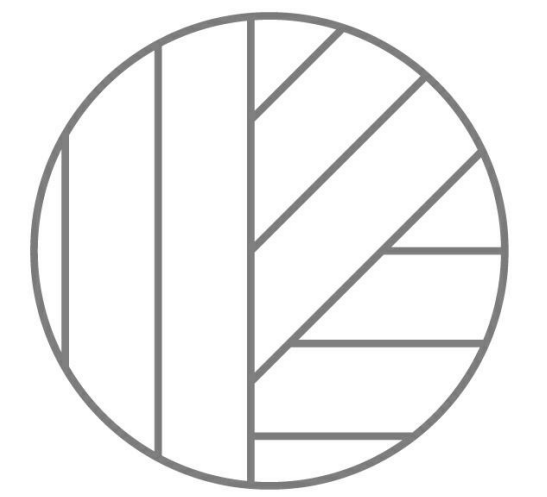
LEGEND

- CONCRETE BLOCK WALL
- CONCRETE WALL. SEE STRUCT DWGS
- 1-HR RATED FIRE PARTITION
- 2-HR RATED FIRE BARRIER
- CONCRETE COLUMN. SEE STRUCT DWGS
- SHEAR WALL. SEE STRUCTURAL DWGS
- AREA TO HAVE 8'-2" VERTICAL CLEARANCE
- LID PLANTER. SEE CIVIL, LANDSCAPE DWGS
- PLANTER. SEE LANDSCAPE DWGS
- ACCESSIBLE PATH OF TRAVEL
- STANDPIPE
- FIRE EXTINGUISHER
- EXIT SIGN
- AREA DRAIN: SLOPE TO DRAIN AT 1/4" PER FT MIN
- SEE A800 FOR DOOR TYPES
- SEE A801 FOR WINDOW TYPES
- SEE A802 FOR STOREFRONT TYPES
- SEE A900 FOR WALL TYPES

SITE PLAN 1/16" = 1'-0" 1

PARKING SCHEDULE (STALL TYPE)			
P1 LEVEL FFE	RESIDENTIAL	EV	13
P1 LEVEL FFE	RESIDENTIAL	STANDARD	32
P1 LEVEL FFE			45
1ST FL FFE	RESIDENTIAL	ACCESSIBLE	2
1ST FL FFE	RESIDENTIAL	EV	12
1ST FL FFE	RESIDENTIAL	STANDARD	23
1ST FL FFE			37
1ST FL FFE			82

KEYNOTES



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SEAL



REVISIONS

SHEET NOTES

- ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- ALL DIMENSIONS ARE TO CLR UNO.
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
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- GRADE AWAY FROM FOOTINGS, 1% MIN
- FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R902.11
- EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
- IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R902.11
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R902.12
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R919.1.
- PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R917.1 BY
- THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.

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CLIENT NAME:

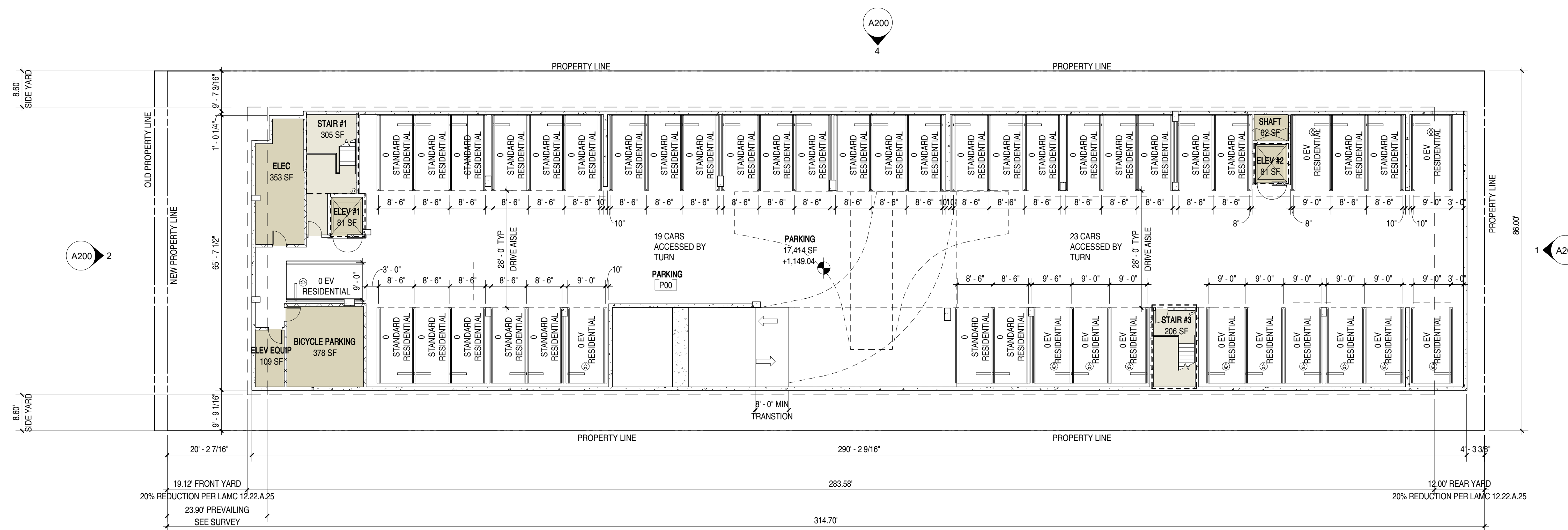
R2H SYLMAR LLC
12034 NUGENT DR
GRANADA HILLS, CA 91344

PROJECT NAME:

SYLMAR VILLAGE

LEGEND

- CONCRETE BLOCK WALL
- CONCRETE WALL, SEE STRUCT DWGS
- 1-HR RATED FIRE PARTITION
- 2-HR RATED FIRE BARRIER
- CONCRETE COLUMN, SEE STRUCT DWGS
- SHEAR WALL, SEE STRUCTURAL DWGS
- AREA TO HAVE 8'-2" VERTICAL CLEARANCE
- LID PLANTER, SEE CIVIL, LANDSCAPE DWGS
- PLANTER, SEE LANDSCAPE DWGS
- ACCESSIBLE PATH OF TRAVEL
- STANDPIPE
- FIRE EXTINGUISHER
- EXIT SIGN
- AREA DRAIN: SLOPE TO DRAIN AT 1/4" PER FT MIN
- SEE A800 FOR DOOR TYPES
- SEE A801 FOR WINDOW TYPES
- SEE A802 FOR STOREFRONT TYPES
- SEE A900 FOR WALL TYPES



P1 LEVEL PLAN - OVERALL 1/16" = 1'-0" 1

8/9/2022 5:38:22 PM

DRAWING SET TITLE:
ENTITLEMENT SET

SHEET NUMBER:
A100

SHEET TITLE:
OVERALL P1 LEVEL PLAN

DATE:
8.19.2022

JOB NUMBER:
2203

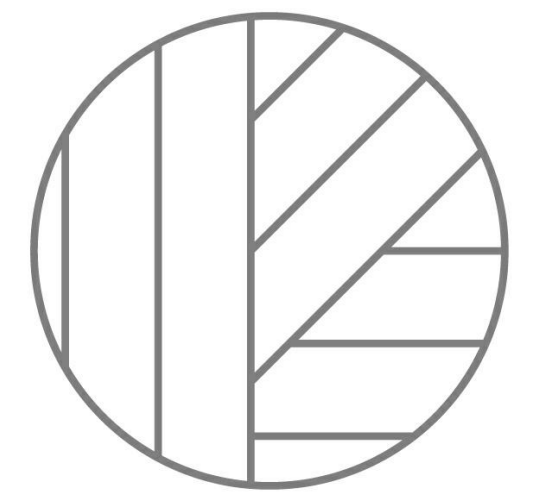
PROJECT ADDRESS:
12534 SAN FERNANDO RD
SYLMAR, CA 91342

NOT FOR CONSTRUCTION

PARKING SCHEDULE (STALL TYPE)			
P1 LEVEL FFE	RESIDENTIAL	EV	13
P1 LEVEL FFE	RESIDENTIAL	STANDARD	32
P1 LEVEL FFE			45
1ST FL FFE	RESIDENTIAL	ACCESSIBLE	2
1ST FL FFE	RESIDENTIAL	EV	12
1ST FL FFE	RESIDENTIAL	STANDARD	23
1ST FL FFE			37
GRAND TOTAL			82

KEYNOTES

- 019 (E) UTILITY POLE RELOCATED. NOT A PART.
- 030 TURNING RADIUS PER LADBS BULLETIN P/ZC 2002-001
- 2600 TRANSFORMER AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS.
- 2601 SWITCH GEAR AND PAD PER LADWP REQUIREMENTS. SEE ELEC DWGS.



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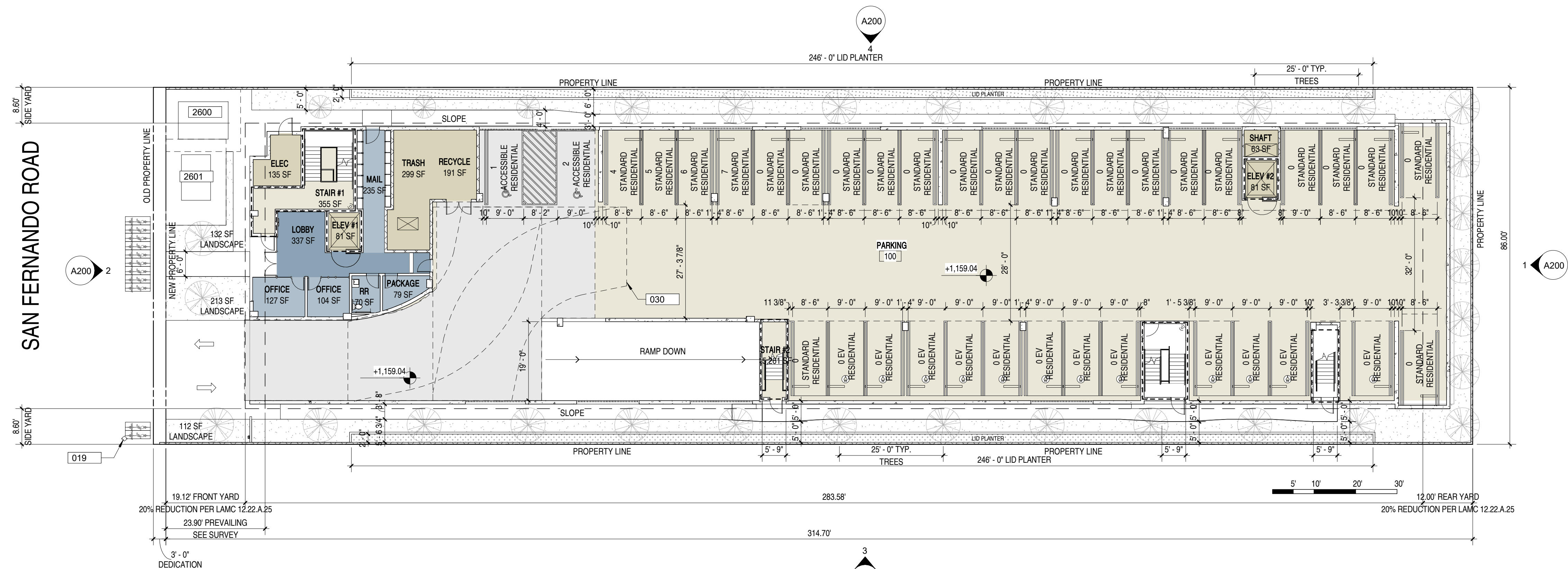
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REVISIONS

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
 - B. ALL DIMENSIONS ARE TO CLR UNO.
 - C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
 - D. WALL BASE TO BE 4" REVEAL BASE MOLDINGS AT ALL WALLS
 - E. GRADE AWAY FROM FOOTINGS, 1% MIN
 - F. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R902.11
 - G. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
 - H. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R902.11
 - I. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R902.12
 - J. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R919.1.
 - L. PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R917.1 BY
 - M. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.



LEGEND

- CONCRETE BLOCK WALL
- CONCRETE WALL, SEE STRUCT DWGS
- 1-HR RATED FIRE PARTITION
- 2-HR RATED FIRE BARRIER
- CONCRETE COLUMN, SEE STRUCT DWGS
- SHEAR WALL, SEE STRUCTURAL DWGS
- AREA TO HAVE 8'-2" VERTICAL CLEARANCE
- LID PLANTER, SEE CIVIL, LANDSCAPE DWGS
- PLANTER, SEE LANDSCAPE DWGS
- ACCESSIBLE PATH OF TRAVEL
- STANDPIPE
- FIRE EXTINGUISHER
- EXIT SIGN
- AREA DRAIN: SLOPE TO DRAIN AT 1/4" PER FT MIN
- SEE A800 FOR DOOR TYPES
- SEE A801 FOR WINDOW TYPES
- SEE A802 FOR STOREFRONT TYPES
- SEE A900 FOR WALL TYPES

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CLIENT NAME:
R2H SYLMAR LLC
12034 NUGENT DR
GRANADA HILLS, CA 91344

PROJECT NAME:
SYLMAR VILLAGE

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
**12534 SAN FERNANDO RD
SYLMAR, CA 91342**

JOB NUMBER:
2203

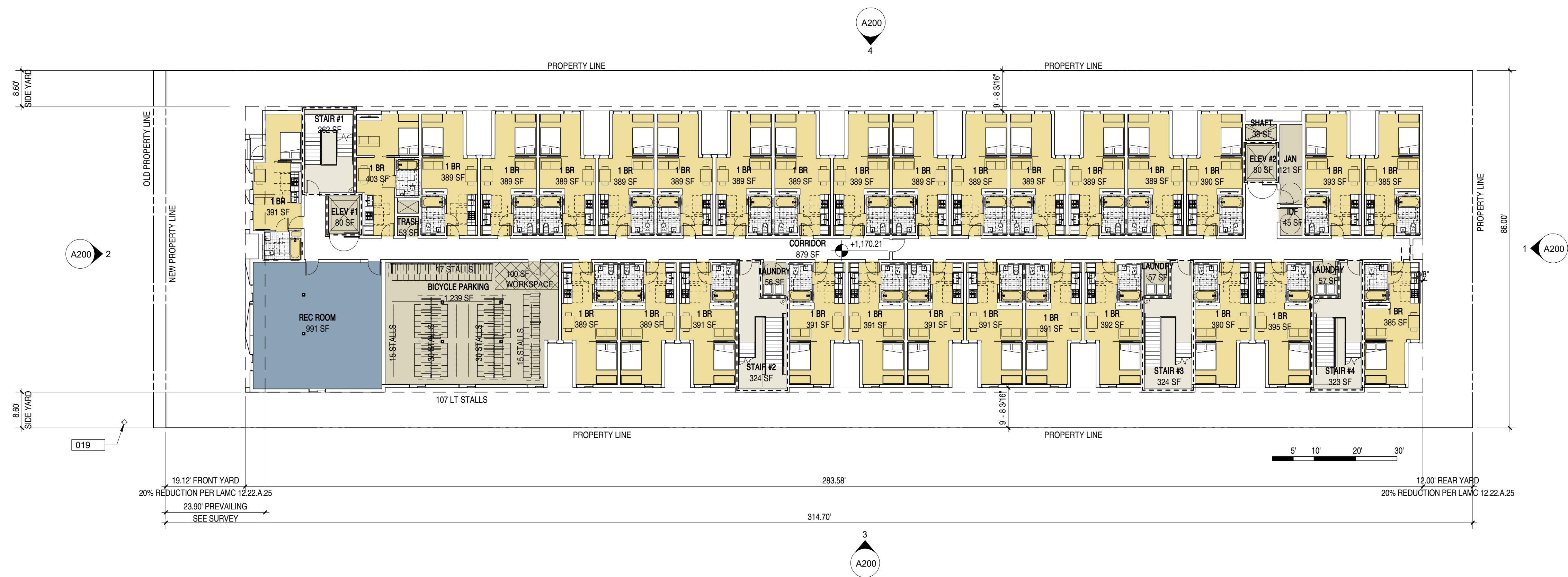
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8.19.2022

SHEET TITLE:
OVERALL 1ST FLOOR PLAN

SHEET NUMBER:
A110

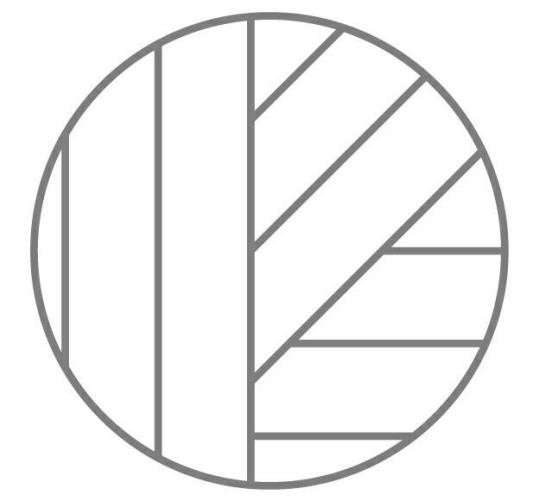
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KEYNOTES

019 (E) UTILITY POLE RELOCATED. NOT A PART.



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INFO@JZARCH.LA

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REVISIONS

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO.
- C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
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- E. GRADE AWAY FROM FOOTINGS, 1% MIN
- F. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R202.11
- G. EDGE FLASHING TO BE 19 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
- H. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R202.11
- I. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R202.12
- J. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R191.1.
- K. PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY
- L. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- M. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.

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R2H SYLMAR LLC
12034 NUGENT DR
GRANADA HILLS, CA 91344

PROJECT NAME:

SYLMAR VILLAGE

NOT FOR CONSTRUCTION

PROJECT ADDRESS:

12534 SAN FERNANDO RD
SYLMAR, CA 91342

JOB NUMBER:

2203

DATE:

8.19.2022

SHEET TITLE:

**2ND FLOOR PLAN
OVERALL**

SHEET NUMBER:

A120

DRAWING SET TITLE:

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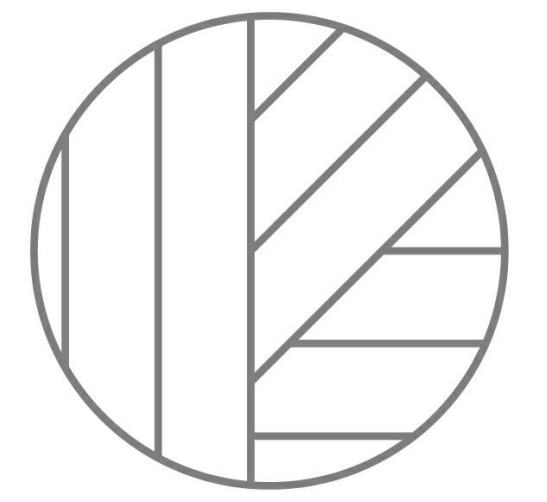
LEGEND

- CONCRETE BLOCK WALL
- CONCRETE WALL, SEE STRUCT DWGS
- 1-HR RATED FIRE PARTITION
- 2-HR RATED FIRE BARRIER
- CONCRETE COLUMN, SEE STRUCT DWGS
- SHEAR WALL, SEE STRUCTURAL DWGS
- AREA TO HAVE 8'-2" VERTICAL CLEARANCE
- LID PLANTER, SEE CIVIL, LANDSCAPE DWGS
- PLANTER, SEE LANDSCAPE DWGS
- ACCESSIBLE PATH OF TRAVEL
- STANDPIPE
- FIRE EXTINGUISHER
- EXIT SIGN
- AREA DRAIN: SLOPE TO DRAIN AT 1/4" PER FT MIN
- SEE A800 FOR DOOR TYPES
- SEE A801 FOR WINDOW TYPES
- SEE A802 FOR STOREFRONT TYPES
- SEE A900 FOR WALL TYPES

2ND FLOOR PLAN - OVERALL

1/16" = 1'-0"

1



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REVISIONS

KEYNOTES

SHEET NOTES

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- G. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
- H. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R902.11
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- J. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R919.1.
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- L. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
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LEGEND

- CONCRETE BLOCK WALL
- CONCRETE WALL, SEE STRUCT DWGS
- 1-HR RATED FIRE PARTITION
- 2-HR RATED FIRE BARRIER
- CONCRETE COLUMN, SEE STRUCT DWGS
- SHEAR WALL, SEE STRUCTURAL DWGS
- AREA TO HAVE 8'-2" VERTICAL CLEARANCE
- LID PLANTER, SEE CIVIL, LANDSCAPE DWGS
- PLANTER, SEE LANDSCAPE DWGS
- ACCESSIBLE PATH OF TRAVEL
- STANDPIPE
- FIRE EXTINGUISHER
- EXIT SIGN
- AREA DRAIN: SLOPE TO DRAIN AT 1/4" PER FT MIN
- SEE A800 FOR DOOR TYPES
- SEE A801 FOR WINDOW TYPES
- SEE A802 FOR STOREFRONT TYPES
- SEE A900 FOR WALL TYPES

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CLIENT NAME:

R2H SYLMAR LLC
12034 NUGENT DR
GRANADA HILLS, CA 91344

PROJECT NAME:

SYLMAR VILLAGE

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
**12534 SAN FERNANDO RD
SYLMAR, CA 91342**

JOB NUMBER:
2203

DATE:
8.19.2022

SHEET TITLE:
3RD FLOOR OVERALL

SHEET NUMBER:

A130

DRAWING SET TITLE:
ENTITLEMENT SET

8/9/2022 5:38:39 PM





4TH FLOOR PLAN - OVERALL 1/16" = 1'-0" 1

KEYNOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO.
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- G. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
- H. IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R902.11
- I. IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE OF A FLOORCEILING ASSEMBLY, DRAFTSTOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS PER R902.12
- J. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R919.1.
- K. PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R917.1 BY
- L. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- M. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.

SHEET NOTES

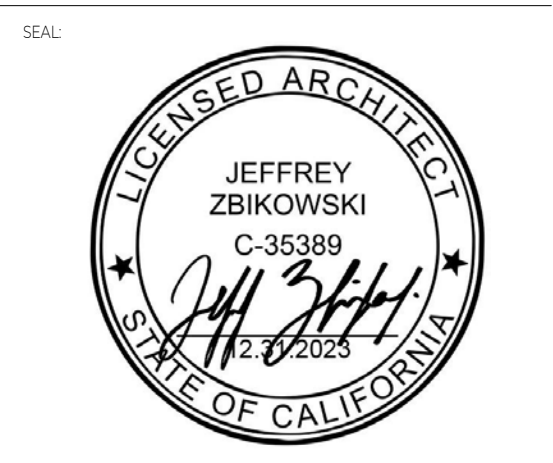
- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO.
- C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
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- G. EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA
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- M. PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.

LEGEND

- CONCRETE BLOCK WALL
- CONCRETE WALL, SEE STRUCT DWGS
- 1-HR RATED FIRE PARTITION
- 2-HR RATED FIRE BARRIER
- CONCRETE COLUMN, SEE STRUCT DWGS
- SHEAR WALL, SEE STRUCTURAL DWGS
- AREA TO HAVE 8'-2" VERTICAL CLEARANCE
- LID PLANTER, SEE CIVIL, LANDSCAPE DWGS
- PLANTER, SEE LANDSCAPE DWGS
- ACCESSIBLE PATH OF TRAVEL
- STANDPIPE
- FIRE EXTINGUISHER
- EXIT SIGN
- AREA DRAIN: SLOPE TO DRAIN AT 1/4" PER FT MIN
- SEE A800 FOR DOOR TYPES
- SEE A801 FOR WINDOW TYPES
- SEE A802 FOR STOREFRONT TYPES
- SEE A900 FOR WALL TYPES



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CLIENT NAME:
R2H SYLMAR LLC
 12034 NUGENT DR
 GRANADA HILLS, CA 91344

PROJECT NAME:
SYLMAR VILLAGE

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
 12534 SAN FERNANDO RD
 SYLMAR, CA 91342

JOB NUMBER:
 2203

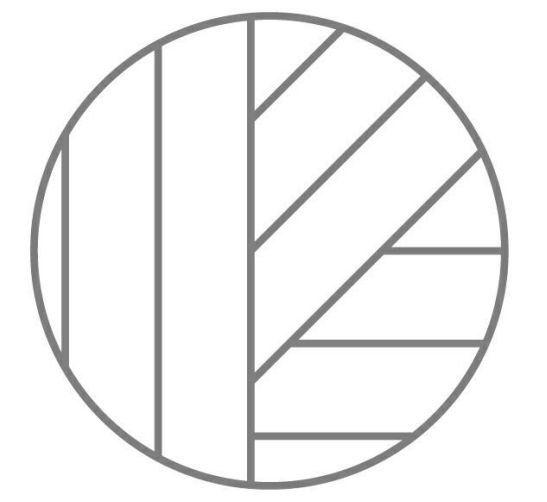
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SHEET TITLE:
4TH FLOOR OVERALL

SHEET NUMBER:
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ENTITLEMENT SET

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REVISIONS

KEYNOTES

SHEET NOTES

- A. ALL INTERIOR WALLS TO BE TYPE 1A, UNO
- B. ALL DIMENSIONS ARE TO CLR UNO.
- C. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
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EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA.
IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM EFFECTIVE FIRE BARRIER BETWEEN STORES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER R902.11.
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- H. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R919.1.
- I. PROTECTION OF WOOD AND WOOD AGED PRODUCTS SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION 917.1.7 BY
- J. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
PROVIDE ANTI-GRAFFITI FINISH WITHIN FIRST 6 FEET MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.

LEGEND

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- SHEAR WALL, SEE STRUCTURAL DWGS
- AREA TO HAVE 8'-2" VERTICAL CLEARANCE
- LID PLANTER, SEE CIVIL, LANDSCAPE DWGS
- PLANTER, SEE LANDSCAPE DWGS
- ACCESSIBLE PATH OF TRAVEL
- STANDPIPE
- FIRE EXTINGUISHER
- EXIT SIGN
- AREA DRAIN: SLOPE TO DRAIN AT 1/4" PER FT MIN
- SEE A800 FOR DOOR TYPES
- SEE A801 FOR WINDOW TYPES
- SEE A802 FOR STOREFRONT TYPES
- SEE A900 FOR WALL TYPES

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PROJECT NAME:

SYLMAR VILLAGE

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
**12534 SAN FERNANDO RD
SYLMAR, CA 91342**

JOB NUMBER:
2203

DATE:
8.19.2022

SHEET TITLE:
5TH FLOOR OVERALL

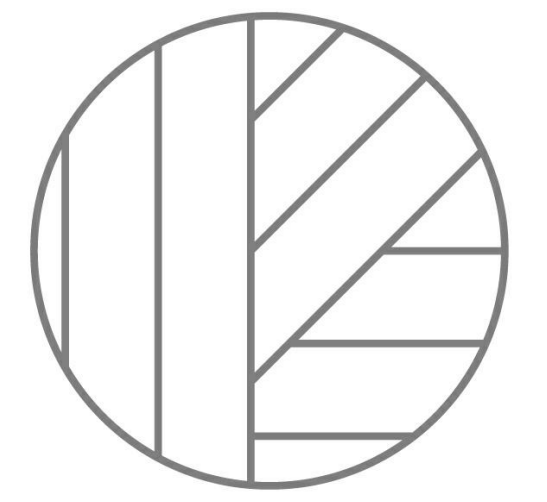
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REVISIONS

KEYNOTES

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- SEE A802 FOR STOREFRONT TYPES
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PROJECT NAME:

SYLMAR VILLAGE

NOT FOR CONSTRUCTION

PROJECT ADDRESS:
**12534 SAN FERNANDO RD
SYLMAR, CA 91342**

JOB NUMBER:
2203

DATE:
8.19.2022

SHEET TITLE:
6TH FLOOR OVERALL

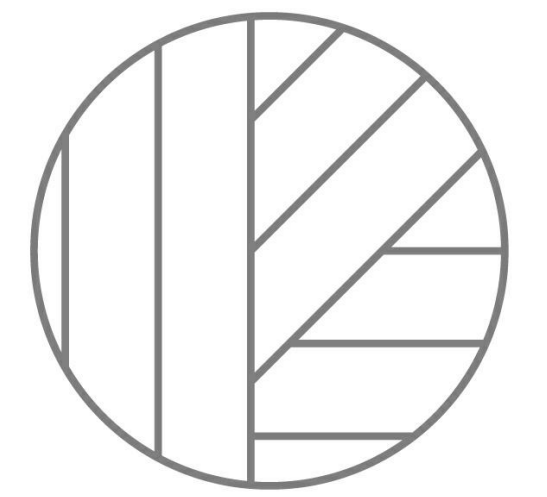
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EDGE FLASHING TO BE 18 GA GALVANIZED SHEET METAL, PAINTED TO MATCH FASCIA.
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- H. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER R191.1.
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- J. THE USE OF NATURAL DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
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SYLMAR, CA 91342**

JOB NUMBER:
2203

DATE:
8.19.2022

SHEET TITLE:

OVERALL ROOF PLAN

SHEET NUMBER:

A170

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