



San Fernando

12188 - 12192 San Fernando Road
Los Angeles, CA 91342

PZA Re-Submittal

Set Issue / Revisions :

11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal
01.10.2023 PZA Re-submittal

Project Directory :

Owner:
SoLa Impact
Project Manager: Aydin Akbanat
1000 E. 60th Street
Los Angeles, CA 90001
962.331.7971
aydin@solaimpact.com

Structural:
Englekirk
Project Manager: Tony Ghodsi
888 S Figueroa Street, Suite 18
Los Angeles, CA 90017
310.749.1724
tony.ghodsi@englekirk.com

Architect:
Open Office, INC
Project Manager: Edward Cronin
20784 Arago Circle
Bend, OR 97703
971.303.4641
edward@openoffice.design

MEP:
Breen Design Group
Project Manager: Kevin Medina
1983 West 190th Street, Suite 200
Torrance, CA 90504
310.464.8404
kmedina@brendesign.com

Survey :
N.C. Hansen, Inc.
Project Manager: Neil Hansen
1545 Victory Boulevard, 2nd Floor
Glendale, CA 91201
747.215.6667
neil@nchansen.com

Civil:
Breen Design Group
Project Manager: Evan Fernandez
1983 West 190th Street, Suite 200
Torrance, CA 90504
310.464.8404
efernandez@brendesign.com

Dry Utility :
E4 Utility Design
Project Manager: Brandy McGuire
1211 Puerta Del Sol #270
San Clemente, CA 92673
949-582-2755
brandy@e4design.com

Landscape:
Savage Land Design
Project Manager: Michael Savage
2651 E Chapman Ave #110
Fullerton, CA 92831
714.878.0335
michael@savagelanddesign.com

Project Summary :

General Requirements (See G0.04 - G0.16 For Additional Information)

Scope of Work :

- New Construction of a light gauge steel 5 - story multi-family residential building, 100% privately funded
- New light gauge steel frame 5 - story building (Type IIB)
- 121 Units ((121) 1 - Bedroom @ 385 SF, Avg.)
- 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers.

Site Address :

12188 - 12192 San Fernando Road
Los Angeles, CA 91342

Assessor Parcel Number (APN) :

2611-009-023, 2611-009-022

Legal Description :

Lots 21, 22, 23 and 24 of tract. No. 10143, in the City of Los Angeles, County of Los Angeles, State of California, as per Map recorded in book 145, pages 20 and 21 of maps, in the office of the county recorder of said county.
Except therefrom that portion of said lots 21, 22, 23 and 25 included within the deeds to State of California, recorded April 25, 1949 as instrument No. 2720 in book 29524 page 309 Official Records, and recorded May 17, 1949 as instrument No. 266 in book 30107 page 285 official records in the office of the county recorder of said county.

Base Zone :

C2-2D-CPIO; Corridor Subarea F ("Transit-Oriented Development")

Entitlements / Incentives :

100% Affordable AB 2345 Density Bonus project with requests for Off - Menu incentives and waivers:

- Density Bonus:** Unlimited density and height (within 1/2 mile of major transit) PER AB2345
- Yard / Setback:** Reduction of Side(s) Set Back to 5FT from 8FT (LAMC 12.22.25 (f),(1))
- Open Space:** Up to 20% decrease from an open space requirement + 54.3% Reduction of Open Space Requirement. (LAMC 12.22.25 (f),(6))
- CPIO Glazing Requirement:** 19% Reduction of CPIO Glazing Requirement (Refer G0.22)
- Ground Floor Use:** Waiver of the CPIO Ground - Floor Commercial Requirement for 75% of the Primary Frontage and Limitation of Dwelling Units on the Ground Level.
- Parking:** Waiver of One (1) Paring Space for every 20 Dwelling Units or Guest Rooms

Lot Size :

18,829 SF

Density :

Allowable Base Density:	47 Dwelling Units (1/400 SF)
Allowable Density w/ AB 2345 Incentive:	121 Dwelling Units
Proposed Density (Market Rate):	121 DU (100% Affordable Housing)

FAR (See Also G0.15) :

Allowable FAR (Base FAR):	3 : 1
Allowable FAR (Per 12.22.A.25):	4.05:1 (35% increased Density)
Allowable Building Area FAR:	76,257 SF
Proposed Building Area FAR:	54,590 SF

Building Area (See Also G0.05, G0.12 - 0.16) :

Gross Building Area:	59,559 SF
Parking Area:	0 SF

Lot Coverage :

Building Footprint:	12,415 SF
Hardscape:	See Plan L01
Landscape:	See Plan L01

Height (See Also G0.05, A4.00 - 4.03) :

Allowable Base Height Limit:	LUL for C2
Allowable Height:	60 FT (with Sylmar CPIO)
Proposed Height:	52 FT 5 INCHES
Transitional Height Limit:	N/A
Allowable Building Stories:	Unlimited
Proposed Building Stories:	5 Stories

Setbacks (See Also G0.05, A4.00 - 4.03) :

	REQ'D	PROVIDED	
Front Yard (San Fernando):	1'-6"	13'-2 1/2"	(10' Dedication required / Sylmar CPIO req'd 10'-6" front yard)
Side Yard (North PL):	8'-0"	5'-0"	Reduction of Side(s) Set Back to 5FT from 8FT for 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers
Side Yard (South PL):	8'-0"	5'-0"	Reduction of Side(s) Set Back to 5FT from 8FT for 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers
Rear Yard (Truman Ave):	1'-6"	1'-6"	Truman Ave is considered Front Yard (Refer to Sylmar CPIO req'd)

Open Space (See Also G0.05 & G0.16) :

Required Open Space:	12,100 SF
Allowable Open Space w/ 20% decreased:	9,680 SF
Minimum Common Open Space w/ AB 2345:	4,840 SF
Required Landscaping:	2,420 SF
Required Trees:	31

Parking (See Also G0.05) :

100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers; including waiver of One (1) Parking Space for every 20 Dwelling Units or Guest Rooms.

Bicycle Parking (See Also G0.05) :

Required Long-Term Parking:	103 Spaces; (103 Spaces Provided)
Required Short-Term Parking:	12 Spaces; (12 Spaces Provided)
Required Maintenance Area:	100 SF; (100 SF Provided)

OPEN
OFFICE

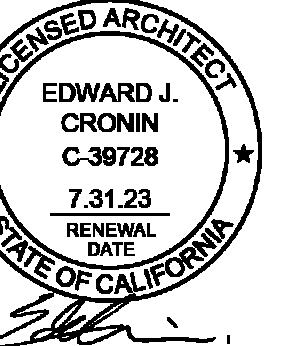
20784 Arago Circle
Bend, OR 97703
P: (503) 863-1443
W: www.openoffice.design

All drawings are the property of Open Office INC and are not to be used or reproduced in any manner without prior written permission.

San Fernando
12188 - 12192 San Fernando Road
Los Angeles, CA 91342

Cover Sheet

NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE :

DATE : ISSUE :

11.21.2022 PZA Submittal

12.15.2022 1st Plan check Submittal

01.10.2023 PZA Re-submittal

PROJECT NO : 202203

DRAWN BY : Author

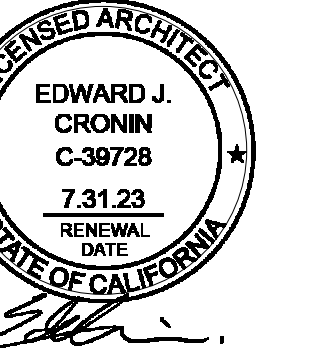
CHECKED BY : Checker

SCALE : 12" = 1'-0"

SHEET NO :

G0.00

NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE :

DATE :	ISSUE :
11.21.2022	PZA Submittal
12.15.2022	1st Plan check Submittal
01.10.2023	PZA Re-submittal

PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE :

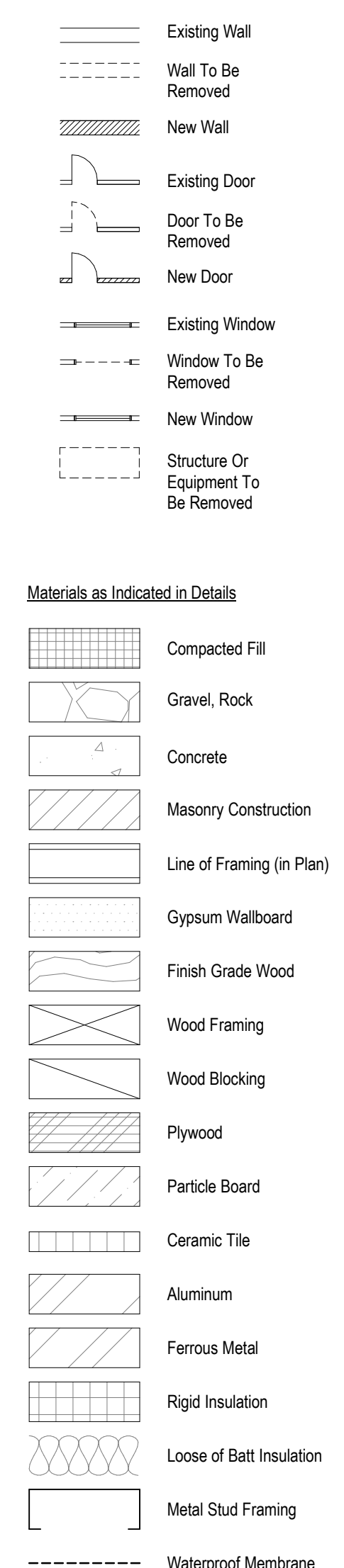
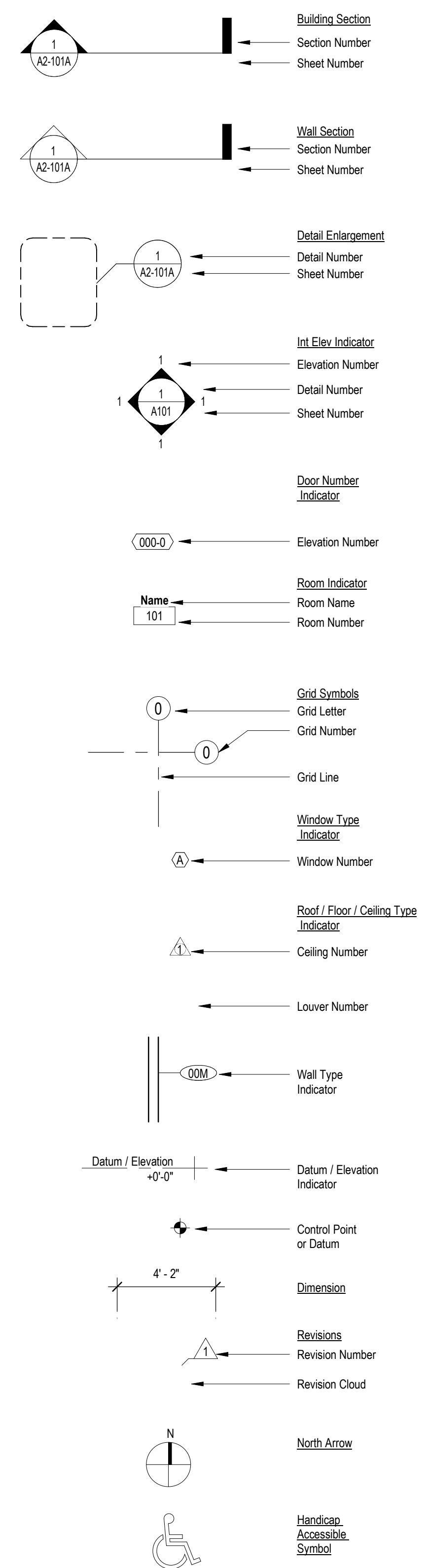
SHEET NO :

Sheet Number	Sheet Name	11.21.2022 - PZA Submittal	12.15.2022 - 1st Plan check Submittal	01.10.2023 - PZA Re-Submittal
G0.00	Cover Sheet	•	•	•
G0.01	Index of Drawings	•	•	•
G0.01a	Resume of Work	•	•	•
G0.02	Symbols & Abbreviations	•	•	•
G0.03	Accessibility Requirements	•	•	•
G0.04	Project Location & Code Summary	•	•	•
G0.05	Project Location & Code Summary	•	•	•
G0.06	Architectural Site Plan - Existing	•	•	•
G0.07	Architectural Site Plan - Proposed	•	•	•
G0.08	Survey	•	•	•
G0.10	Building Occupant Load Summary	•	•	•
G0.11	Egress Plans	•	•	•
G0.12	Area Plans - Gross Square Footage	•	•	•
G0.13	Area Plans - Building Areas	•	•	•
G0.14	Area Plans - Unit Mix	•	•	•
G0.15	Area Plans - FAR	•	•	•
G0.16	Area Plans - Open Space	•	•	•
G0.17	Accessible Route Diagram	•	•	•
G0.20	Diagrams - Allowable Openings	•	•	•
G0.21	Diagrams - Allowable Openings	•	•	•
G0.22	CPIO Glazing Diagrams	•	•	•
G0.23	CPIO Exterior Articulation Diagrams	•	•	•
G0.24	CPIO Exterior Articulation Diagrams	•	•	•
G0.30	Fire Access Plan Notes	•	•	•
G0.31	Fire Access Plan	•	•	•
G0.32	Title 24 Report	•	•	•
G0.33	Title 24 Report (Cont.)	•	•	•
G0.40	LADBS - Green Building Forms	•	•	•
G0.41	LADBS - Green Building Forms	•	•	•
G0.42	LADBS - Green Building Forms	•	•	•
A0.01	Exterior Wall Types	•	•	•
A0.02	Interior Wall Types	•	•	•
A0.03	Floor & Ceiling Types	•	•	•
A0.10	Fire Rating Notes	•	•	•
A0.11	Fire Rating Notes	•	•	•
A0.20	Door Types & Schedule (New In Progress)	•	•	•
A0.21	Door Types & Schedule (New In Progress)	•	•	•
A0.30	Window and Storefront Types	•	•	•
A1.00	Demolition Plan	•	•	•
A1.01	Demolition GRN 1 - Storm Water Pollution Control	•	•	•
A2.00	Overall Floor Plans - L01	•	•	•
A2.01	Overall Floor Plans - L02	•	•	•
A2.02	Overall Floor Plans - L03	•	•	•
A2.03	Overall Floor Plans - L04	•	•	•
A2.04	Overall Floor Plans - L05	•	•	•
A2.05	Overall Floor Plans - Roof Level	•	•	•
A2.20	Reflected Ceiling / Lighting Plans	•	•	•
A2.21	Reflected Ceiling / Lighting Plans	•	•	•
A2.22	Reflected Ceiling / Lighting Plans	•	•	•
A2.23	Reflected Ceiling / Lighting Plans	•	•	•
A2.24	Reflected Ceiling / Lighting Plans	•	•	•
A3.00	Overall Exterior Elevations	•	•	•
A3.01	Overall Exterior Elevations	•	•	•
A3.02	Overall Exterior Elevations	•	•	•
A3.03	Overall Exterior Elevations	•	•	•
A4.00	Overall Building Sections	•	•	•
A4.01	Overall Building Sections	•	•	•
A4.02	Overall Building Sections	•	•	•
A4.03	Overall Building Sections	•	•	•
A4.04	Overall Building Sections	•	•	•
A5.20	Roof Details (Site Built)	•	•	•
A6.00	Vertical Circulation Plans, Sections, & Details	•	•	•
A6.01	Vertical Circulation Plans, Sections, & Details	•	•	•
A6.03	Vertical Circulation Plans, Sections, & Details	•	•	•
A6.04	Vertical Circulation Plans, Sections, & Details	•	•	•
A7.30	Enlarged Unit Plans	•	•	•
A7.40	Typical Unit Kitchen Plans & Elevations	•	•	•
A7.50	Unit Bathroom Plans & Elevations	•	•	•
A7.52	Bike - Enlarged Common Area Plan	•	•	•
A7.60	Enlarged Bike Storage Plans & Details	•	•	•

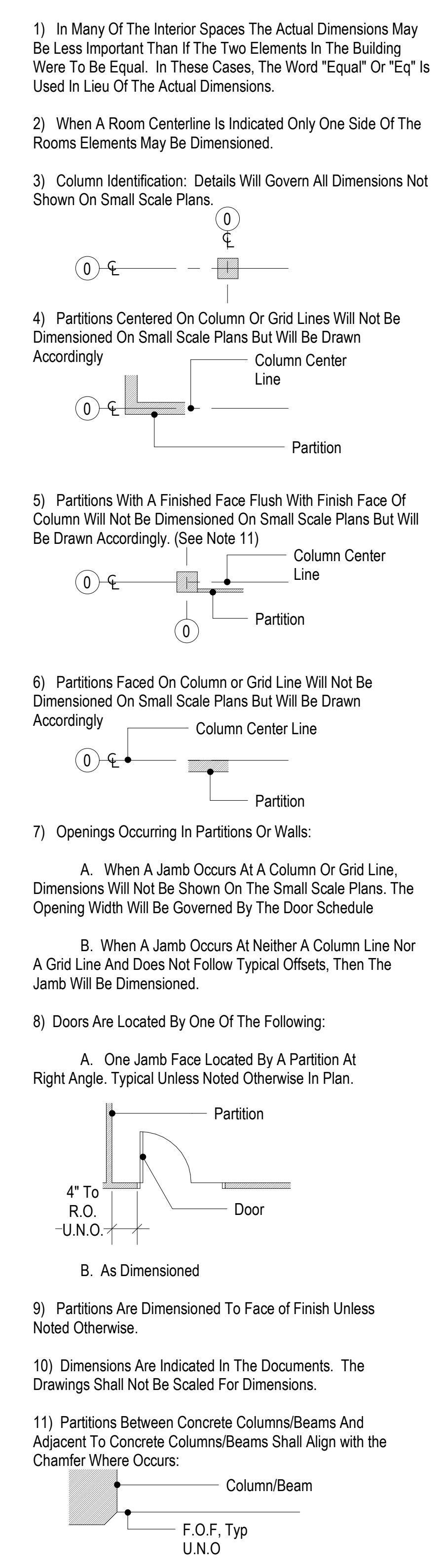
Abbreviations

AB	Anchor Bolt	HB	Hose Bibb	S	South
ABV	Above	HD	Hand Dryer	SC	South Core
ACT	Acoustical Ceiling Tile	HDR	Header	SC	Showers Curtain
AC	Architectural Concrete	HDW	Hardware	SD	Soap Dispenser
A/C	Asphaltic Concrete	HDWD	Hardwood	SCHED	Schedule
AD	Area Drain	HGT	Height	SECT	Section
ADD	Addendum	HM	Hollow Metal	SF	Square Foot (feet)
ADJ	Adjacent	HNDRL	Handrail	SH	Shower Head
AF	Access Floor	HORIZ	Horizontal	SHTHG	Sheathing
AFP	Above Finish Floor	HP	High Performance	SHT	Sheet
AFG	Above Finish Grade	HR	Similar	SIM	Similar
AGG	Aggregate	HSTL	Hollow Steel	SLR	Sealer
AHU	Air Handling Unit	HT	Height	SOG	Slab on Grade
ALT	Alternate	HTG	Heating	SPEC	Specification
ALUM	Aluminum	HTR	Heater	SND	Sanitary Napkin Disposal
AMT	Amount	HV	Hose Valve	SNV	Sanitary Napkin Vendor
APPROX	Approximate	HVAC	Heating, Ventilating & Air Conditioning	SQ	Square
ARCH	Architect(ural)	ID	Inside Diameter/Dimension	SS	Stainless Steel
AUTO	Automatic	IN	Inch	ST	Street
BC	Bottom of Curb	INCL	Includes(d)	STUCCO	Stucco
BD	Board	INFO	Information	STD	Standard
BFF	Below Finish Floor	INSUL	Insulation	STL	Steel
BLDG	Building	INT	Interior	STN	Stain (ed)
BLKG	Blocking	INV	Invert	STAG	Staggered
BM	Beam	JB	Junction Box	STOR	Storage
BO	Bottom of	JST	Joist	STR	Structural
BOD	Bottom of Deck	JT	Joint	STUC	Stucco
BOR	Bottom of Reveal	KO	Knockout	SURF	Surface
BOT	Bottom	KP	Kick Plate	SUSP	Suspended
BRG	Bearing	L	Length	SWS	See Wall Sections
BRK	Brick	LAM	Laminate	SYM	Symmetrical
BSMT	Basement	LAV	Lavatory	SYS	System
CAB	Cabinetry	LB	Pound or Lag Bolt	TB	Tackboard
CAB	Catch Basin	LF	Linear Foot or Feet	TEMP	Temporary
CEM	Cement	LH	Left Hand	TEMP GL	Tempered Glass
CEN PT	Center Point	LIN	Lineoleum	T&B	Top & Bottom
CG	Corner Guard	LL	Live Load	T&G	Tongue & Groove
CH	Baby Care Center	LT	Light	THK	Thick
CHK	Clothes Hook	LVR	Louver	THRSH	Threshold
CIP	Cast-in-Place	M	Metric	THRU	Through
CL	Center Line	MACH	Machine	T.I.	Tenant Improvement
CLG	Ceiling	MAS	Masonry	TO	Top of
CLR	Clear	MATL	Material	TOC	Top of Concrete or Curb
CMU	Concrete Masonry Unit	MAX	Maximum	TOS	Top of Steel
COL	Column	MB	Marker Board	TOT	Total
CONC	Concrete	MDF	Medium Density Fiberboard	TPD	Toilet Paper Dispenser
CONT	Continuous	MDO	Medium Density Overlay	TRD	Trad
CORR	Corridor	MECH	Mechanical	TSD	Toilet Seat Cover Dispenser
COV PL	Cover Plate	MEMB	Membrane	TYP	Typical
CPT	Carpet	MFR	Manufacturer	UNFIN	Unfinished
CPTT	Carpet Tile	MH	Manhole	UNO	Unless Noted Otherwise
CR	Curtain Rod	MH	Mop Hook	UR	Unrated
CRT	Critical	MIN	Minimum	V	Voltage
CTR	Center	MI	Mirror	VB	Vapor Barrier
DBL	Double	MISC	Miscellaneous	VENT	Ventilation
DET	Detail	MO	Masonry Opening	VERT	Vertical
DF	Drinking Fountain	MR	Mirror	VEST	Vestibule
DIA	Diameter	MRG	Moisture Resistant Gyp. Board	VFY	Verify
DIFF	Diffuser	MTD	Mounted	VIF	Verify In Field
DIM	Dimension	MTL	Metal	WNR	Veneer
DL	Dead Load	(N)	New	W	West
DN	Down	NA	Not Applicable	W/	With
DR	Door	NIC	Not In Contract	WD	Wood
DRN	Drain	NO	Number	WD ACT	Acoustical Wood Panel
DS	Downspout	NOM	Nominal	WDW	Window
DWG	Drawing	NTS	Not to Scale	WLD	Weld (ed)
E	East	OA	Outside Air	WOC	Walk Off Carpet
EA	Elevator Annunciator	OC	On Center	WOC	Walk Off Mat
EB	Expansion Bolt	OD	Outside Diameter/Dimension	WGL	Wire Glass
EC	Elevator Call Station	OFCI	Owner Furnished-Contractor Installed	WIO	Without
EJ	Expansion Joint	OFOI	Owner Furnished-Owner Installed	WP	Waterproofing
ELEC	Electrical	OPG	Opening	WR	Waste Receptacle
ELEV	Elevation	OPP	Opposite	WSCT	Wainscot
EMER	Emergency	OPP HD	Opposite Hand	WSTL	Weathered Steel
ENCL	Enclosure	OPT	Optional	WT	Weight
ENGR	Engineer	ORIG	Original	WTR	Water
EP	Electrical Panel	OVHD	Overhead	W/W	Wall to Wall
EPNT	Epoxy Paint	PAV	Paving or Pavers	W/WF	Welded Wire Fabric
EQ	Equal	PC	Precast Concrete	XFR	Transfer
EQUIP	Equipment	PCF	Pounds Per Cubic Foot	XFRMR	Transformer
EXH	Exhaust	PD	Paper Towel Dispenser	YD	Yard
(E)	Existing	PD/WR	Paper Towel Dispenser/Waste Receptacle		
EXP	Expansion	PERF	Perforated		
EXT	Exterior	PL	Plate		
FA	Fire Alarm	PLM	Plastic Laminate		
FAA	Fire Alarm Visual Device And Annunciator	PLAS	Plaster		
FACP	Fire Alarm Control Panel	PLUMB	Plumbing		
FAP	Fire Alarm Pull Station	PLYWD	Plywood		
FAV	Fire Alarm Visual Device	PNL	Panel		
FB	Fat Bar	P-#	Paint		
FD	Floor Drain	PRELIM	Preliminary		
FDN	Foundation	PS	Projection Screen		
FE	Fire Extinguisher	PSI	Pounds Per Cubic Inch		
FEC	Fire Extinguisher Cabinet	PT	Pressure Treated		
FF	Finish Floor	PTD	Painted		
FIN	Finish(ed)	QT	Quarry Tile		
FLR	Floor	QTR	Quarter		
FLUOR	Fluorescent	(R)	Remain		
FO	Face of	R-#	Thermal Resistance (R-Value)		
FOC	Face of Concrete	RA	Return Air		
FOF	Face of Finish	RAD	Radius		
FOMI	Face of Masonry	RB	Rubber Base		
FOS	Face of Studs	RD	Roof Drain		
FPRF	Fireproofing	REC	Recessed		
FRAP	Fire Resistive	REF	Reference		
FRP	Fiberglass Reinforced Panel	REFR	Refrigerator		
FSD	Feminine Supplies Dispenser	REINF	Reinforce (d) (ing) (ment)		
FT	Foot or Feet	REQD	Required		
FTG	Footing	REV	Revision		
FV	Field Verify	RF	Resilient Flooring		
GA	Gauge	RFL	Reflected		
GALV	Galvanized	RM	Room		
GB	Grab Bar	RMD	Round		
GC	General Contractor	RO	Rough Opening		
GL	Glass	RSR	Riser		
GND	Ground	RV	Roof Vent		
GSM	Galvanized Sheet Metal	R/W	Right of Way		
GWB	Gypsum Wall Board				

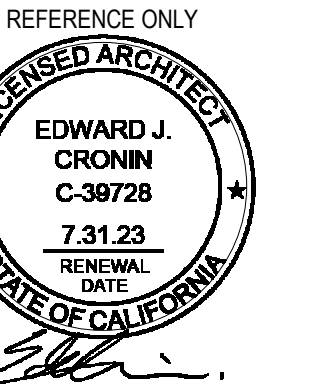
Symbols



Dimensions:



NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE:

DATE: ISSUE:

11.21.2022 PZA Submittal

12.15.2022 1st Plan check Submittal

PROJECT NO: 202203

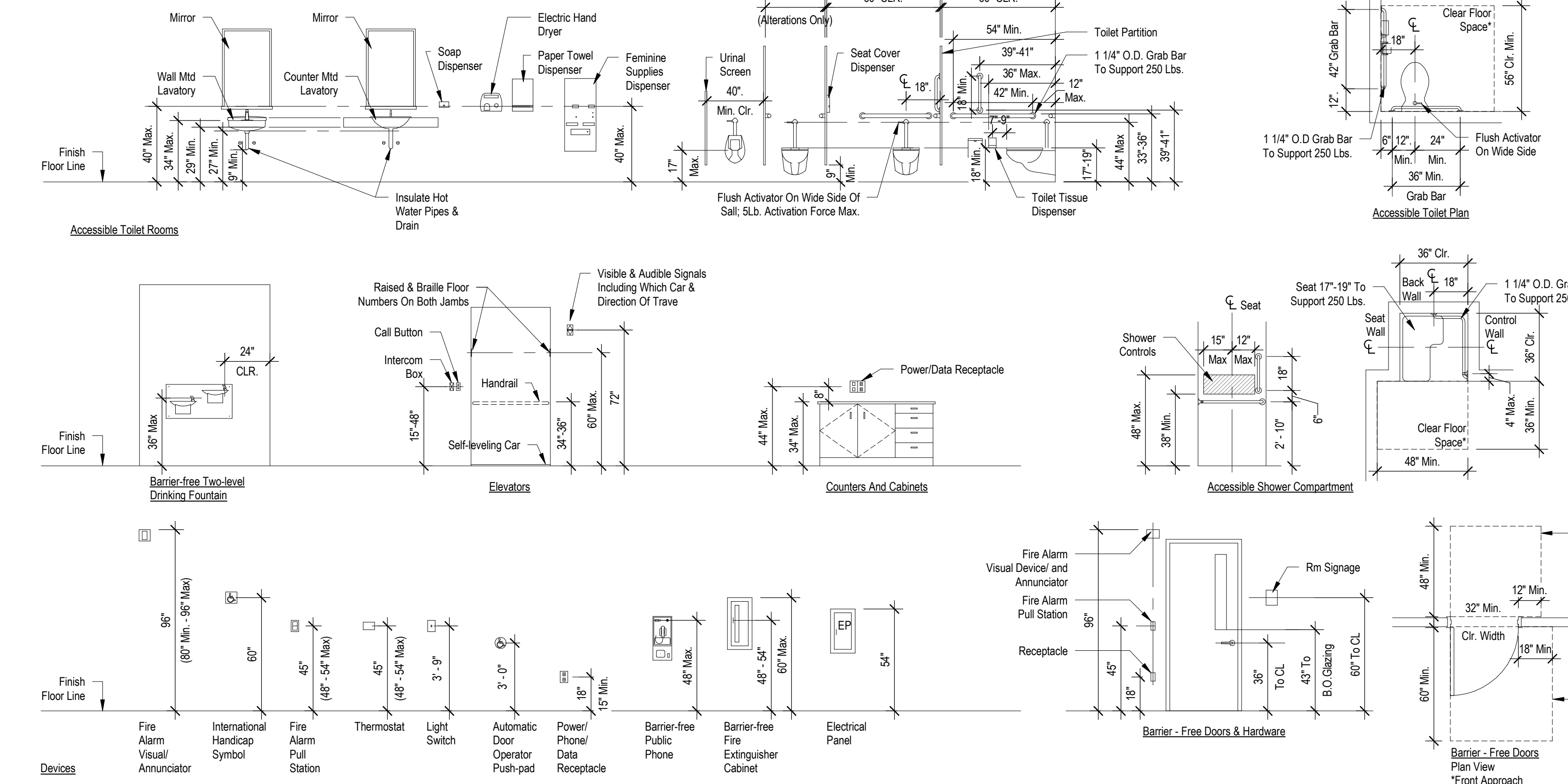
DRAWN BY: Author

CHECKED BY: Checker

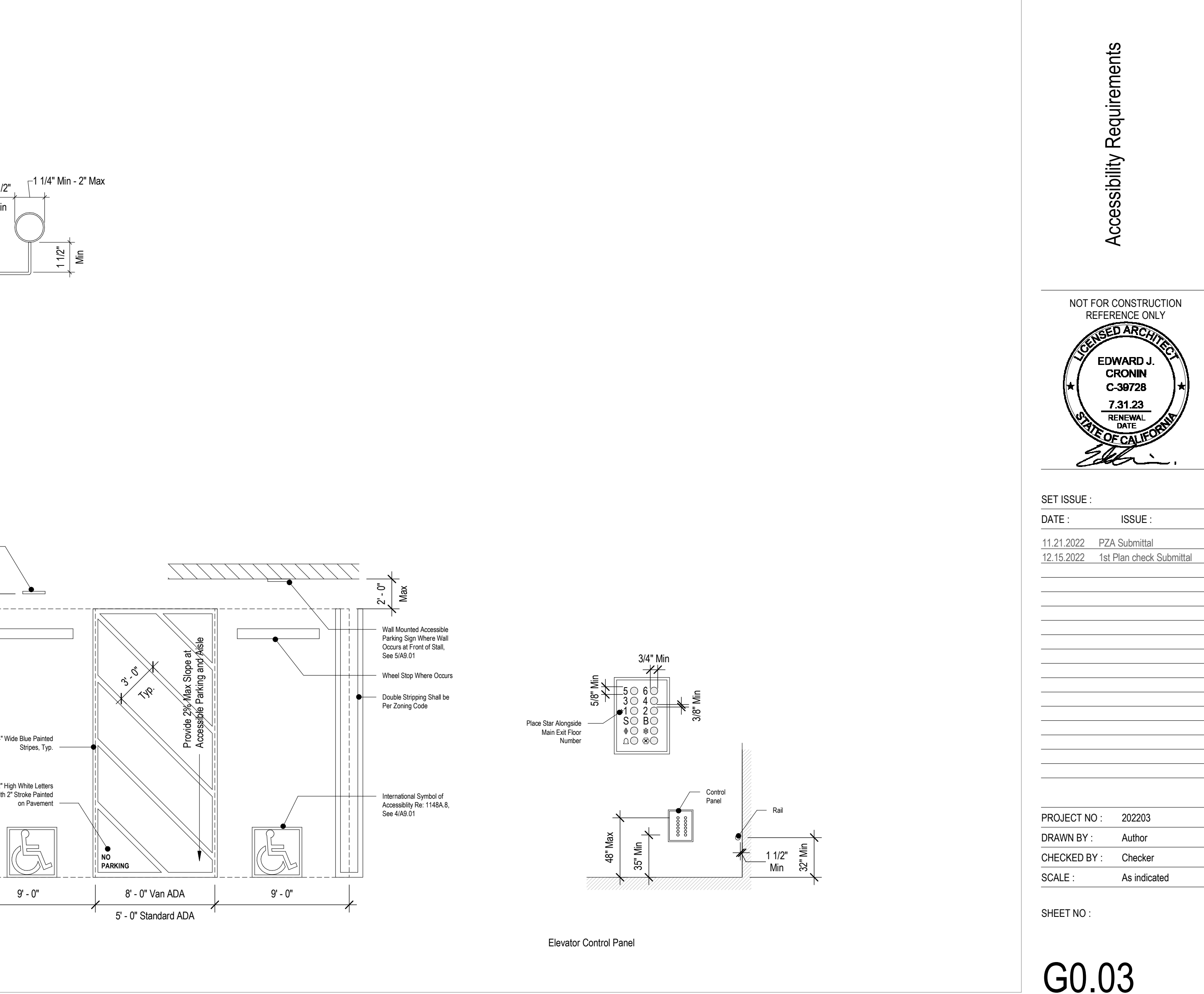
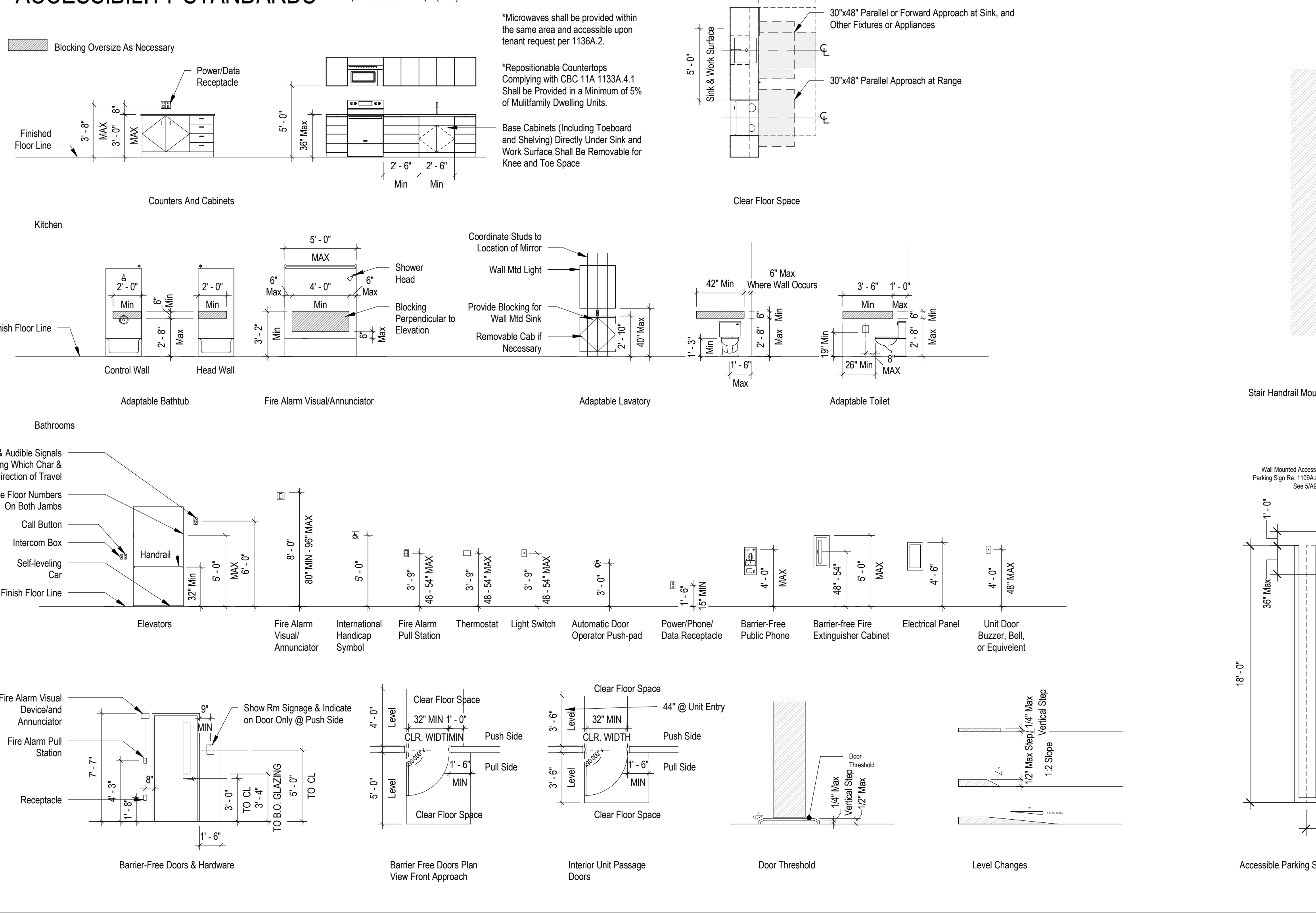
SCALE: As indicated

SHEET NO:

ACCESSIBILITY STANDARDS 2009 ANSI 117.1



ACCESSIBILITY STANDARDS (CBC 2019 Ch. 11A) (NTS)



Code Summary : Reference Sheet G0.10 - G0.11 for Occupant Load Tabulations.

General	
Jurisdictional Authority:	Los Angeles Department Building & Safety (LADBS) (South Los Angeles, City of Los Angeles, State of California)
Applicable Codes:	2019 CALIFORNIA BUILDING CODE, TITLE 24, 2018 INTERNATIONAL BUILDING CODE (IBC), 2020 LABC, 2019 CALIFORNIA FIRE CODE, 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, 1998 FAIR HOUSING ACT DESIGN MANUAL (SAFE HARBOR), 2010 AMERICANS WITH DISABILITIES ACT STANDARDS, LA MUNICIPAL CODE

Project Description	
Project Name: San Fernando Road	Project Address: 12188 - 12192 San Fernando Road / Los Angeles, CA 91342
New Construction	Occupancy: R2 - Residential

Building Construction	
Construction Type (602):	Type IIB (5 Stories)
Building Height (Table 504.3) Building Stories (Table 504.4):	IIB Allowed: 75'-0" 5 Proposed: 52'-5" 5 Stories
Sprinklers Used to Increase Stories (504.4):	Yes Basement: No

Fire Resistive Requirements: Type IIB (Table 601)	Rating Required:	Rating Provided:	Tested Assembly Number:
	IIB		
Structural Frame	0 Hrs.	As Required	Refer a0.01-0.05
Bearing Walls - Exterior	1 Hrs.	As Required	Refer a0.01-0.05
Bearing Walls - Interior	0.5 Hrs.	As Required	Refer a0.01-0.05
Floor	0.5 Hrs.	As Required	Refer a0.01-0.05
Roof	0.5 Hrs.	As Required	Refer a0.01-0.05

Building Areas	Type IIB				
Allowable Areas & Area Modifications:	R-2	B	S-1	S-2	A-2
Tabular Floor Area for Each Occ. (Table 506):	UL / 48,000	UL / 69,000	UL / 52,500	UL / 78,000	UL / 28,500
Frontage Increase (506.3):	#/				
Total Allowable Building Area per Story:	UL / 48,000	UL / 69,000	UL / 52,500	UL / 78,000	UL / 28,500

Proposed Areas per Story:	R-2	B	S-1	S-2	A-2
First Floor:	Type IIB 7,242 SF	362 SF	1,112 SF	1,147 SF	1,018 SF
Second Floor:	Type IIB 10,451 SF	0 SF	39 SF	0 SF	0 SF
Third Floor:	Type IIB 10,451 SF	0 SF	39 SF	0 SF	0 SF
Fourth Floor:	Type IIB 10,451 SF	0 SF	39 SF	0 SF	0 SF
Fifth Floor:	Type IIB 10,451 SF	0 SF	39 SF	0 SF	0 SF
Roof:	Type IIB 0 SF	0 SF	0 SF	0 SF	4,708 SF
Total Proposed Building Area (See Sheet G0.10):	49,046 SF	362 SF	1,268 SF	1,147 SF	5,726 SF

Building Occupancy Classifications and Separations			
Use and Occupancy Classifications (302.1): R-2, B, S-1, S-2, A-2			
Separated or Non-Separated uses (508.2.4, 508.3 & 508.4): Separated			
R-2 to S-2 = 1 Hr	R-2 to S-1 = 1 Hr	R-2 to R-2 = 1 Hr (@ Corn)	S-2 to A-1 = 0 Hr
R-2 to B = 1 Hr	S-1 to S-2 = 1 Hr	R-2 to R-2 = 0 Hr (Btw Units)	S-1 to B = 0 Hr

Building Fire Detection & Suppression (2019 California Fire Code, San Diego Fire Code)			
Provided: Yes	Type / Class:	Required or Optional:	Areas of Coverage:
Sprinkler System:	NFPA 13	Required, 903.2	100%
Fire Alarm System:	NFPA 72	Required, 907.2.13	100%
Standpipe System:	NFPA 14	Required, 905.3	100%
Smoke Detection System:	NFPA 13	Required, 907.2.13.1	100%
Notes & Provisions:	1. Sprinkler & Alarm Systems to Be Monitored By An Approved Supervising Station in Accordance with NFPA 72. 2. Provide Identification Signage on Riser Closet Entry Door. 3. Separate Permit & Approval Required by Fire Marshal for Sprinkler System 4. Provide two way communication system at elevator lobbies, connected to and monitored w/ building alarm system. 5. Elevators at Floors 2-5 shall be provided with smoke curtains, per manufacturers installation specification.		

Building Exiting (For Building Occupant Loads see Sheet g0.10, for Egress Plans see Sheet g0.11)								
Floor Level:	Number of Exits:		Type of Exit Required / Proposed:				Corridors (1020.1):	
	Req'd	Prop:	Exterior Door: (1027)	Vert. Exit End.: (1022)	Exit Passageway: (1024)	Horizontal Exit: (1026)	Req'd	Fire Rating: (Table 1020.1)
First Floor:	2	2	X	X			Y	1 Hr
Second Floor:	2	2		X			Y	1 Hr
Third Floor:	2	2		X			Y	1 Hr
Fourth Floor:	2	2		X			Y	1 Hr
Fifth Floor:	2	2		X			Y	1 Hr
Roof:	2	2		X			N	
Accessible Exit: Elevator complying w/ 1007.4 L2-L4 discharging at L1 exit to right-of-way.								

Energy Code Requirements (2019 California Energy Code TITLE 24, Part 6)	
Method of Energy Code Analysis: Performance Path	
Climate Zone: Zone 9	Building Type: Residential
Building Envelope Requirements - Opaque Assemblies (5.5-4):	
Description of Assembly (See Wall Types for Add'l Info)	R-Value Req'd
Roof(s): Attic & Other	R-25
Exterior Walls, Above Grade: Light Gauge Steel Framed	R-21 @ Ext. R-13 @ int
Ceilings: Light Gauge Steel Framed	R-13
Floors: Light Gauge Steel Framed	R-30
Ground Floor: Unheated, Slab on Grade with Rise Pedestal (Light Gauge Steel Framed Floor Assembly)	R-30
Opaque Doors Swinging: U-0.29	Opaque Doors Non-Swinging: U-0.41

Performance Building Envelope Requirements - Fenestration (502.3):					
Wall Area: 23,793 sf	Window Area: 3,870 sf	Glazing Fraction: 16.3%			
	max. U-Factor	max. SHGC		max. U-Factor	max. SHGC
Metal Framed Storefront	0.41	0.26	Metal Entrance Assemblies	0.41	0.26
Metal Framed Operable	0.29	0.23	Vinyl Windows	0.29	0.23

Re: a0.04 - a0.05 and specifications					
1. Reference Specifications for Storefront, Door and Window Assembly Requirements. 2. Reference Details for Sealing of the Building Envelope Sealing and Specifications for Joint and Sealant Products 3. Outdoor Air Intake and Exhaust Openings to be Equipped with a Class 1 Motorized Leakage-Rated Damper with a Max Leakage rate of 4cfm/sf at 1.0in Water Gauge per AMCA 5000 4. Recessed Light Fixtures Between Conditioned and Unconditioned Spaces are to be Sealed to Limit Air Leakage and be IC Rated and Labeled per Specifications.					
Building Mechanical Systems (503 & 504):					
1. Mechanical Systems Provided Under Separate Trade Permit with Tenant Improvements. 2. Mechanical Sub-Contractor to Provide System to meet all Requirements of 2019 California Energy Code TITLE 24.					
Building Power & Lighting Systems (505):					
1. Electrical Systems Provided Under Separate Trade Permit with Tenant Improvements. 2. Electrical Sub-Contractor to Provide System to meet all Requirements of 2019 California Energy Code TITLE 24. 3. Reference Specifications for Lighting Controls Requirements 4. Exterior Lighting Power Requirements & Allowances are to Be Determined with Lighting Zone 4. Reference Lighting Energy Forms. 5. Interior Lighting Power Allowances and Requirements are per the Prescriptive Method. Reference Lighting Energy Forms.					

Required Plumbing Fixtures California Plumbing Code 2019 Chapter 4						
Occupancy/Use:	Occ. Load:	Water Closets:	Lavatories:	Drinking Fountains:	Showers:	
	Total:	M/F:	M/F:			
R-2	121 Dwelling Units	1 per Bathroom	1 per Bathroom	0	1 per Bathroom in Unit	
	242	121	121	0	121	
Total Number of Fixtures Provided:						
		121	121	0	121	

Anticipated Deferred Submittals* & Separate Permits	
1. Aluminum Entrance & Storefront Systems	Deferred Submittal
3. Fire Alarm / DAS System	Deferred Submittal
4. Solar Photovoltaic PV System	Deferred Submittal
5. Low Voltage System (Telephone, TV, Data Internet)	Deferred Submittal
4. HVAC Systems	Separate Permit
5. Electrical Systems	Separate Permit
6. Fire Sprinkler & Alarm Systems	Separate Permit
7. Exterior Building Maintenance	Separate Permit
8. Demolition	Separate Permit

*All Deferred Submittals Listed are Req'd to Be Stamped by the Structural Engineer of Record (SER) Prior to Submittal to the Jurisdiction Having Authority. Reference Structural General Notes for Deferred Submittal Requirements.

The General Contractor shall schedule a Firestopping Meeting with the Building Inspector and all Subcontractors that will be installing firestopping materials. Each Subcontractor will provide a list of Firestop materials/assemblies which will be used, the type of penetrations where each material/assembly will be used, and the listing and approval information (i.e. UL, ICC or other approved report/listing numbers.) This information must be submitted to, and approved by, the Building Inspector prior to any installation.

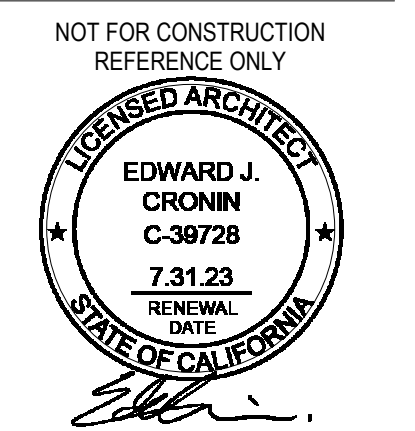
Code Appeals:					
	Appeal #:	Date:	Code Section:	Proposed Design:	Decision:
1.					
2.					
3.					



Summary of Work :

Work includes construction of a light gauge steel frame 5-story building (Type IIB). The building will be 52'-5" tall, located within one half mile of a major transit stop. 100% Privately Funded. Factory-Built Housing.

The ground floor has 103 long-term and 12 short-term bike parking spaces. The multi-family housing with 121 residential units. There is a common open space at the rooftop and two stairs and an elevator access each floor.



SET ISSUE :
 DATE : ISSUE :
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
 DRAWN BY : Author
 CHECKED BY : Checker
 SCALE : 12" = 1'-0"

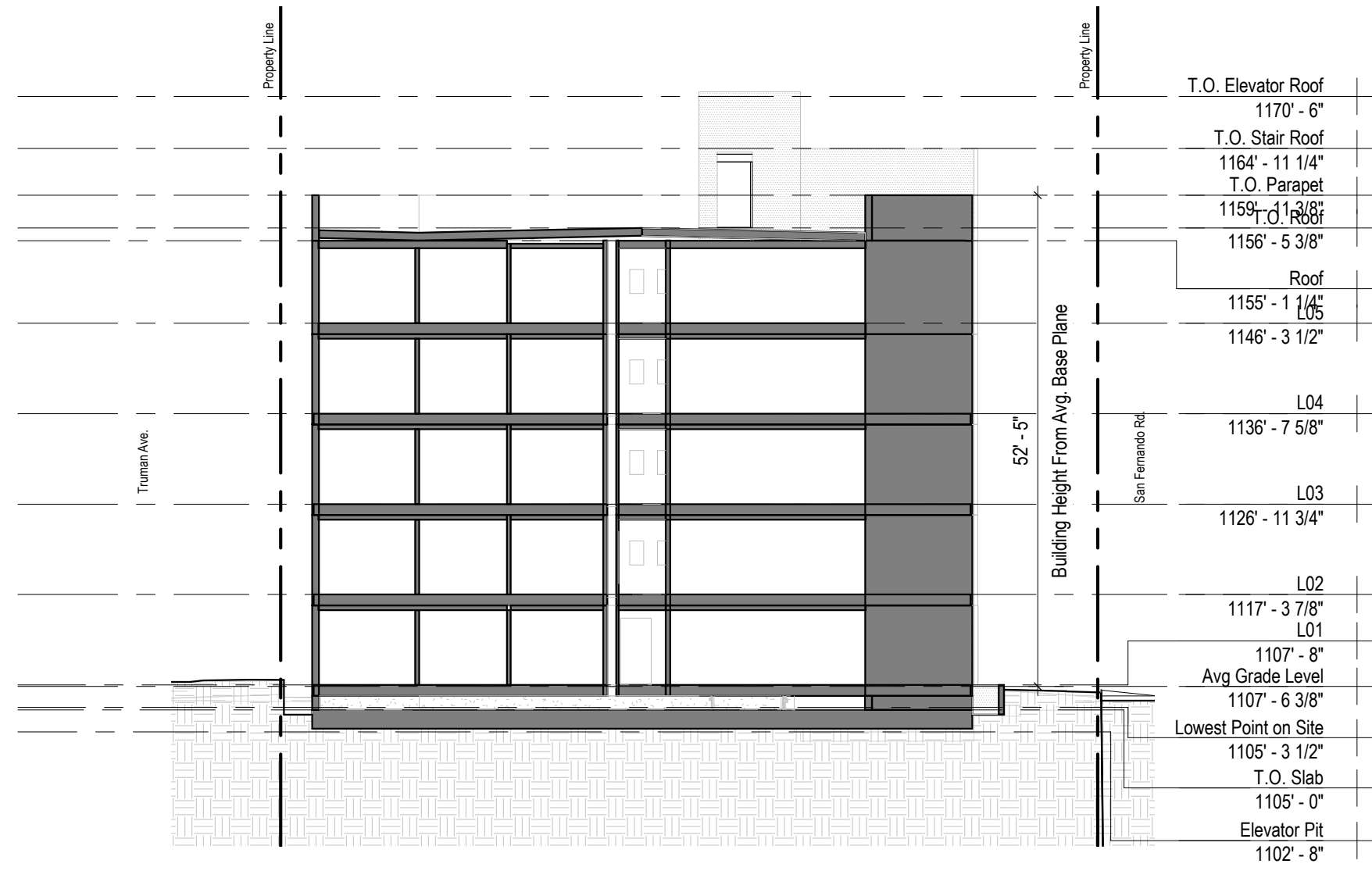
SHEET NO :

Zoning Summary : (cont.)

Open Space: (per 12.21 G)		
< 3 Habitable Rooms - 100 SF:	121 DU	12,100 SF
Required Open Space:		12,100 SF
Allowable Open Space w/ 20% decrease:		9,680 SF
		Up to 20% Decrease per AB 2345 (Min. 50% Common Open Space Within R4 Density, Including Entire Roof Deck Where Applicable) (Min. 600 SF Recreation Rooms)
		3,872 SF
		Min. 600 SF Recreation room, but not > 40% of the total required usual open space per AB2345
Provided Open Space w/ 100% affordable AB 2345 + Off-Menu		5,255 SF
		A 100% Affordable AB 2345 Density Bonus project with requests for Off-Menu Incentives and Waivers (54.3% Reduction of Open Space Requirement)
Landscaping:		
Required Landscaping:	2,420 SF	(Min. 25% Area Planted With Ground Cover, Shrubs or Trees)
Required Trees:	31	1 Box Tree Per 4 Dwellings

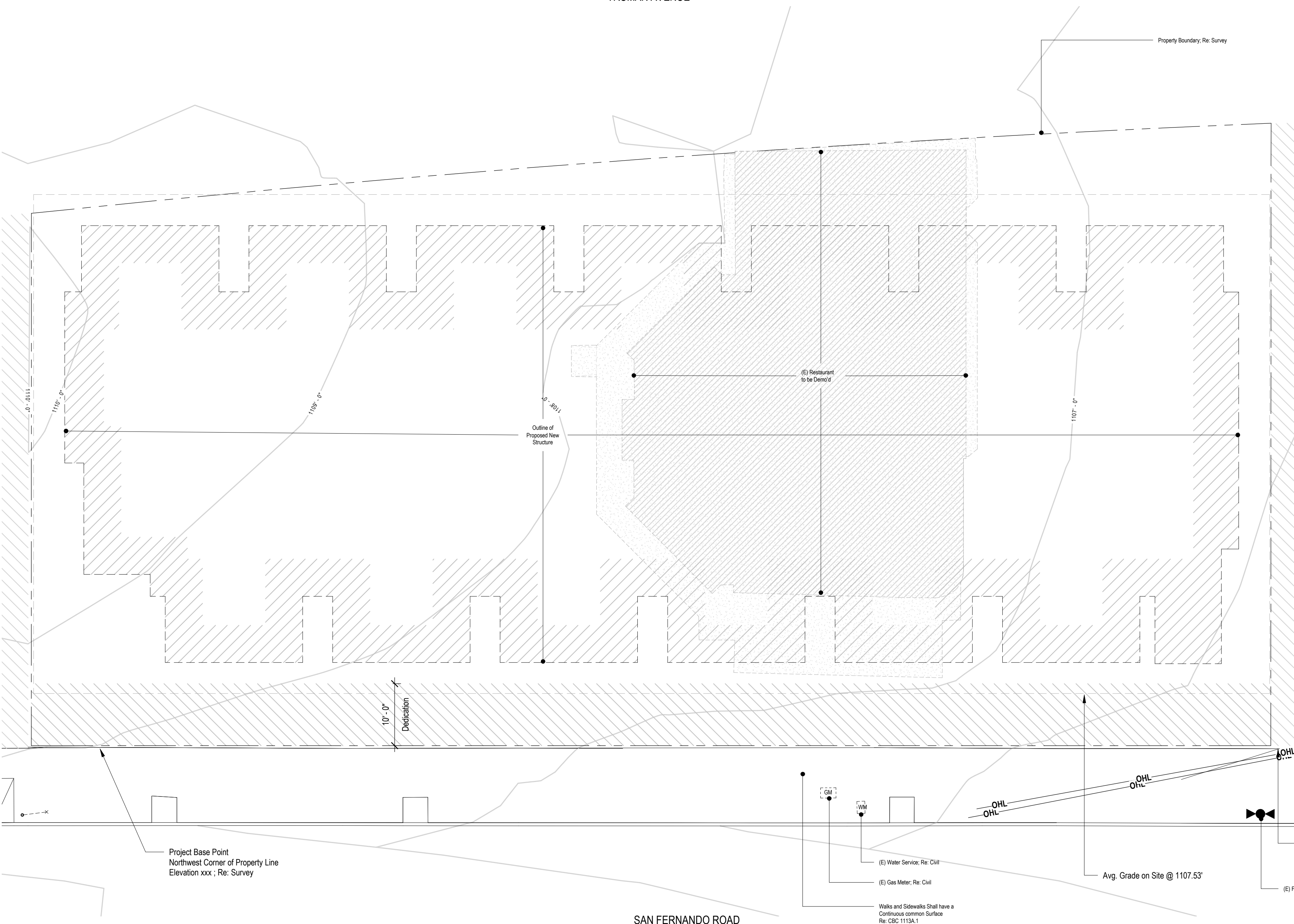
Zoning Summary :

Applicable Codes: Los Angeles Municipal Code			
Site Address: 12188 - 12192 San Fernando Road / Los Angeles, CA 91342		Property Size: 18,829 SF	
APN: 2611-009-023, 2611-009-022			
Community Plan Area: Sylmar CPIO			
Base Zone: C2-1VL-CPIO	Zoning Information (ZI):		
	<ul style="list-style-type: none"> ZI-2445 Community Plan Implementation Overlay: Sylmar ZI-2374 State Enterprise Zone: Los Angeles ZI-2452 Transit Priority Area in the City of Los Angeles ZI-1298 Local Emergency Temporary Regulations - Time Limits and Parking Relief - LAMC 16.02.1 ZI-2441 Aquist-Philo Earthquake Fault Zone 		
	General Plan Land Use: Neighborhood Commercial		
	General Plan Note(s): Yes		
	Overlay(s):		
	<ul style="list-style-type: none"> Community Plan Implementation Overlay (CPIO): Sylmar Subarea: F Transit-Oriented Development (TOD) Transit Oriented Communities (TOC): Tier 1 		
Corridor Sub Area:	F Transit-Oriented Development (TOD)		
Gross Lot Area - Density	18,829 SF		
Buildable Lot Area (C2 Zone Zero Setbacks for FAR Calcs)	15,468 SF		
Incentive Eligibility:	LAMC base zoning and 100% Affordable AB 2345 Density Bonus Project		
Height:	Notes:		
Base Height Limit	UIL for C2		
Allowable Height:	60 FT (with Sylmar CPIO)		
Proposed Zoning Code Height:			
Transitional Height Limit:	N/A		
Proposed Building Height:	52 FT 5 INCHES		
Allowable Building Stories:	UIL		
Allowable Building Stories 1b: w/ Tier 1 Add. Incentives:	UIL		
Proposed Building Stories:	5		
Allowable FAR	3:1		
Allowable Building Area w/ AB2345 (FAR):	4.05:1 w/12.22 A.25 (35% increased Density)		
Allowable Building Area w/ AB2345 (FAR):	76,257 SF		
Proposed FAR:	2.90 : 1		
Proposed Building Area FAR:	54,590 SF		
Allowable Density:	47 DU (11400 sf)		
Extremely Low Income Households			
Allowable Density w/ AB 2345 Incentive:	UIL DU		
Proposed Density:	121 DU (100% Affordable Housing)		
Zoning Setbacks:	Required:	Provided:	Notes:
Front Yard (San Fernando):	1' - 6"	13' - 2 1/2"	10' Dedication required / Sylmar CPIO req'd 10-6" front yard
Side Yard (West PL):	8' - 0"	5'-0"	Reduction of Side(s) Set Back to 5FT from 8FT for 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers
Side Yard (East PL):	8' - 0"	5'-0"	Reduction of Side(s) Set Back to 5FT from 8FT for 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers
Front Yard (Truman Ave):	1' - 6"	1' - 6"	Refer: Sylmar CPIO req'd
Parking:	Required:	Provided:	Notes:
Vehicular:			
No Parking On Site			100% Affordable AB 2345 project with requests for off-menu incentives and waivers; including no parking on site
Total Parking Provided*:	-	-	
Accessible:	-	-	
EV Spaces:	-	-	
EVCS:	-	-	
Bicycle: (Per LAMC 12.21 A.16)	Required:	Provided:	Notes:
Required Bicycle Parking:			
Long Term (Resident):	Units 1-25: 1 Per Unit	25	
	Units 26-100: 1 Per 1.5 Unit	67	
	Units 101-200: 1 Per 2 Unit	11	
	Total:	103; Provided 103	(See A2.00, A2.03, A2.04)
Short Term (Visitor):	Units 1-25: 1 Per 10 Unit	3	
	Units 26-100: 1 Per 15 Unit	7	
	Units 101-200: 1 Per 20 Unit	2	
	Total:	12; Provide: 12	(See G0.07)



1 1/16" = 1'-0" Building Height Diagram

TRUMAN AVENUE



Building Heights Site Diagram (Section):

For Planning, Building Height is determined per "Determination of the Zoning Height of a Building or Structure", Information Bulletin Reference No.: LAMC Sec. 12.03; Document No.: PZC-2022-008

Diagram shows the outline of the proposed new structure & offset from that outline overlaid on the survey. The lowest point on site has been established for determining building height. All spot elevations, contours, existing structures, site features, and utilities are from the survey underlying. See G0.06 & G0.07 for additional information.

For Building, Building Height is determined per LAMC Table 504.3 "Allowable Building Height in Feet Above Grade Plane"

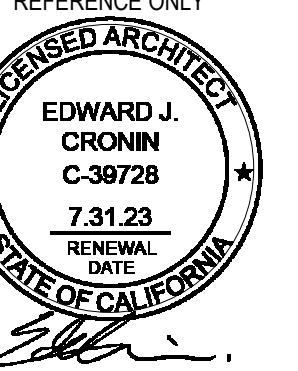
Diagram shows the outline of the proposed new structure & offset from that outline overlaid on the survey. The grade plane established represents the average of finished ground level within the area between the building and the lot line or, where the lot line is more than 6 feet from the building, between the building and a point 6 feet from the building.

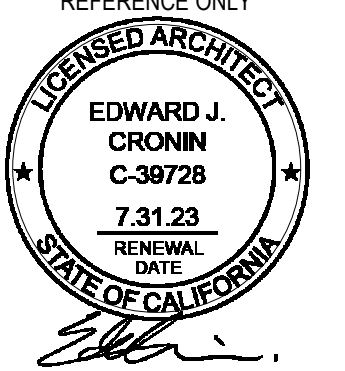
Building Heights Site Diagram (Plan):

Lowest Point on Site Southwest Corner of Property Line Elevation 1105.29'; Re: Survey

2 3/32" = 1'-0" Lowest Point On Site - Diagram

SAN FERNANDO ROAD





SET ISSUE:	
DATE:	ISSUE:
11.21.2022	PZA Submittal
12.15.2022	1st Plan check Submittal

PROJECT NO :	202203
DRAWN BY :	Author
CHECKED BY :	Checker
SCALE :	As indicated

SHEET NO :

General Notes - Site Plan - Existing

Property Info:

Project Address: 12188 - 12192 San Fernando Road., Los Angeles, CA 91342

Legal Description: Lot 21, 22, 23 and 24 in Block 1 of Ross and Jones Tract in the City of Los Angeles, County of Los Angeles as per map filed in book 5 page 139 of maps, in the office of the county recorder of Los Angeles County.

Existing Site:

Existing Property/ Lot Area: 18,829 SF
Building Footprint: 3,372 SF
Building Coverage: 17.9%

Proposed Site:

Existing Property/ Lot Area: 18,829 SF
Building Footprint: 12,486 SF (See G0.12)
Building Coverage: 66.3%

Proposed Impervious Area (Re: Civil Sheets):

- A. Total Disturbance Area:
- B. Existing Amount of Impervious Area:
- C. Proposed Amount of Created Impervious Area:
- D. Proposed Amount of Replaced Impervious Area:
- E. Created and/or Replaced Impervious Area in ROW:
- F. Total Project Impervious Area:

Note: Impervious Area May Include Rooftop, Concrete Pavement, Deck, Brick, Solar Panels, Etc.

General Notes - Site Plan:

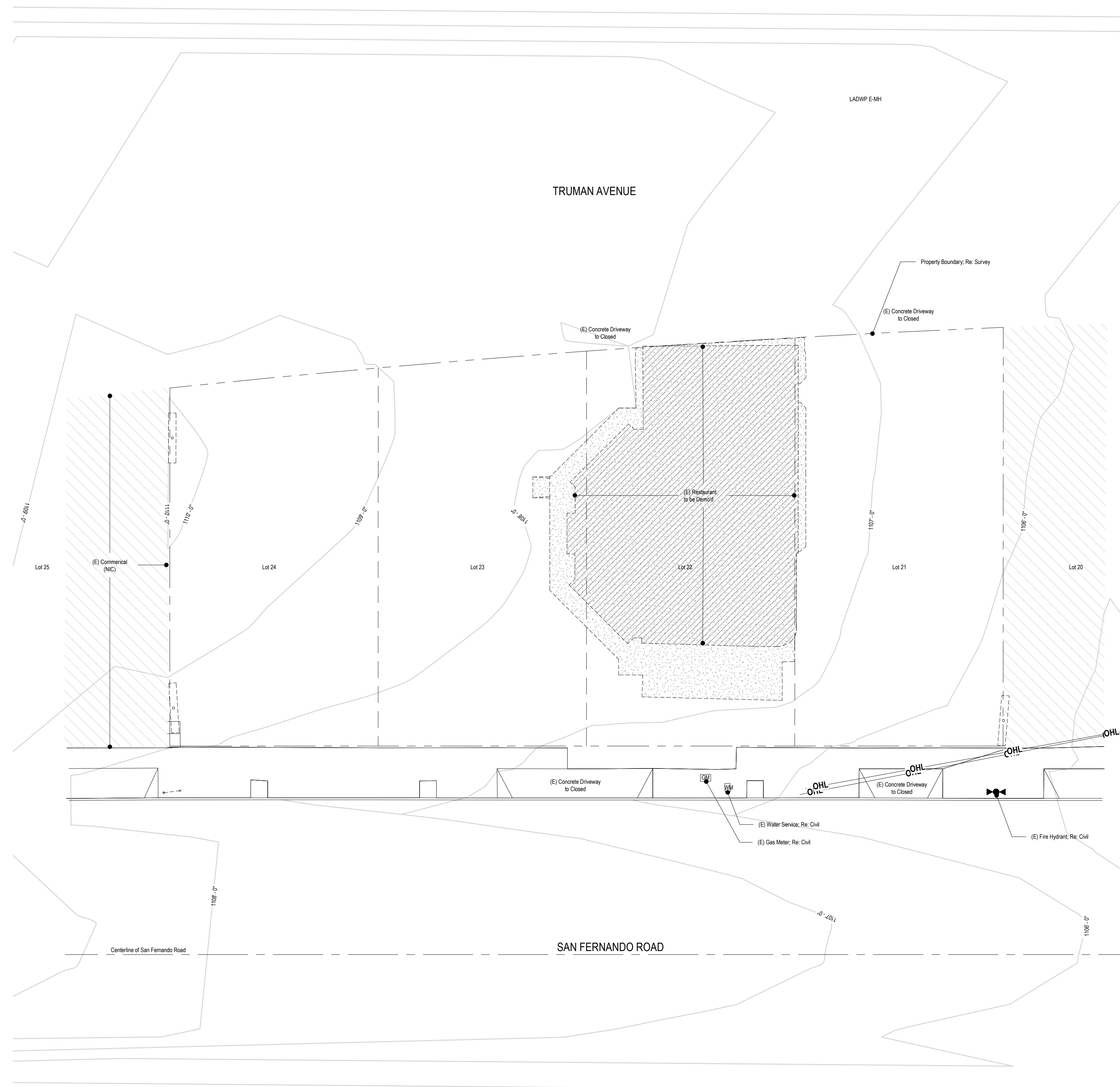
1. Contractor To Verify Existing Utility Locations Prior To Construction, Typ.
2. Provide Erosion Control, Re: Civil.
3. Reference Roof Plan For Storm Drain Locations.
4. Reference Foundation Plan For Under Slab Utility Locations.
5. Re: Civil for Stormwater Management Systems.
6. All Work Proposed in ROW Under Separate Permit.
7. All Disturbed Areas Must Be Stabilized with Hardscape or Landscape Prior to Final Inspection.

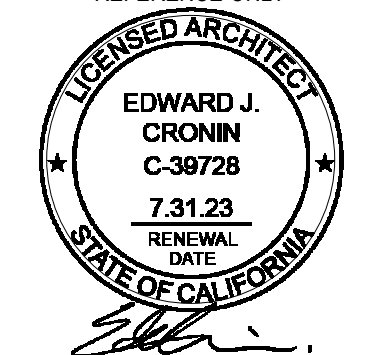
Legend: Site Plan Symbols

	Property Line
	Fence
	Lot Line
	Building / Wall / Floor to Be Demolished
	Curb Line
	Water Line
	Sewer Line
	Storm Drain
	Underground Gas Line
	Oil Pipeline
	Overhead Line
	Spot Elevation / Property Corner Note: Spot Elevations at Property Corners are Approximated from Civil Drawings
	Fire Hydrant
	Power Pole
	Signal Post
	Water Meter
	Electric Meter
	Gas Meter

Legend: Site Plan Hatches

	Zone Outside of Site Plan Extents
	Road or Driveway, Re: Survey
	Concrete Paving in R.O.W.; Re: Survey
	(E) Concrete; Re: Survey
	Existing Building or Structure; Re: Survey





SET ISSUE :
 DATE : ISSUE :
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
 DRAWN BY : Author
 CHECKED BY : Checker
 SCALE : As indicated

SHEET NO :

General Notes - Site Plan - Proposed

Property Info:

Project Address: 12188 - 12192 San Fernando Road., Los Angeles, CA 91342

Legal Description: Lot 21, 22, 23 and 24 in Block 1 of Ross and Jones Tract in the City of Los Angeles, County of Los Angeles as per map filed in book 5 page 139 of maps, in the office of the county recorder of Los Angeles County.

Existing Site:

Existing Property/ Lot Area: 18,829 SF
 Building Footprint: 3,372 SF
 Building Coverage: 17.9 %

Proposed Site:

Existing Property/ Lot Area: 18,829 SF
 Building Footprint: 12,486 SF (See G0.12)
 Building Coverage: 66.3%

Proposed Impervious Area (Re: Civil Sheets):

- A. Total Disturbance Area:
- B. Existing Amount of Impervious Area:
- C. Proposed Amount of Created Impervious Area:
- D. Proposed Amount of Replaced Impervious Area:
- E. Created and/or Replaced Impervious Area in ROW:
- F. Total Project Impervious Area:

Note: Impervious Area May Include Rooftop, Concrete Pavement, Deck, Brick, Solar Panels, Etc.

General Notes - Site Plan:

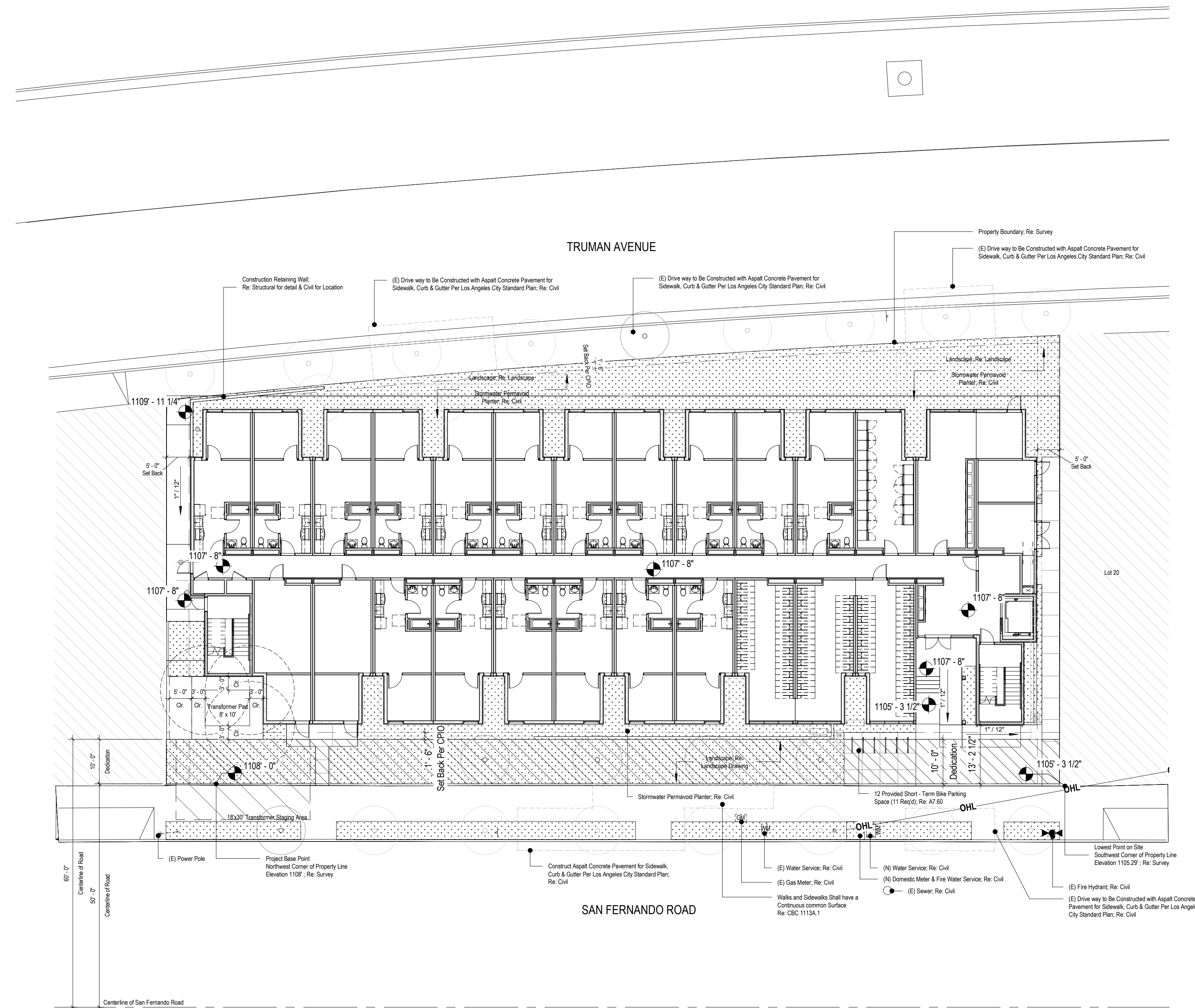
1. Contractor To Verify Existing Utility Locations Prior To Construction, Typ.
2. Provide Erosion Control; Re: Civil.
3. Reference Roof Plan For Storm Drain Locations.
4. Reference Foundation Plan For Under Slab Utility Locations.
5. Re: Civil for Stormwater Management Systems.
6. All Work Proposed in ROW Under Separate Permit.
7. All Disturbed Areas Must Be Stabilized with Hardscape or Landscape Prior to Final Inspection.
8. All Parking is Assigned.
9. When assigned parking is provided, designated accessible parking for the dwelling unit shall be provided on request of residents with disabilities on the same terms and with the full range of choices (e.g., off-street parking, carport or garage) that are available for other residents.
10. Any obstruction that overhangs a pedestrian way shall be a minimum of 80 inches above the walking surface as measured from the bottom of the obstruction.
11. Clear floor or ground spaces for wheelchairs shall be stable, firm, slip resistant, and shall comply with Section 1110A.3 or Section 1119A.2. Changes in level are not permitted. Slopes not steeper than 1:48 shall be permitted.

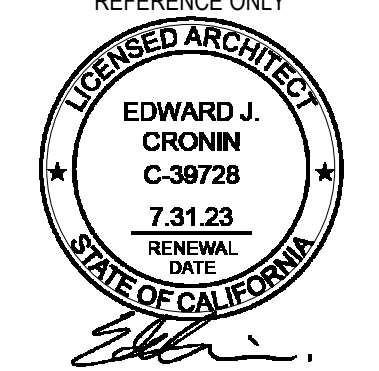
Legend: Site Plan Symbols

---	Property Line
---	Fence
---	Lot Line
---	Building / Wall / Floor to Be Demolished
---	Curb Line
-W -W -W	Water Line
-S -S -S	Sewer Line
STM -STM -STM	Storm Drain
-G -G -G	Underground Gas Line
-F -F -F	Oil Pipeline
-OH -OH -OH	Overhead Line
●	Spot Elevation / Property Corner Note: Spot Elevations at Property Corners are Approximated from Civil Drawings
●	Fire Hydrant
○	Power Pole
⊙	Signal Post
W	Water Meter
EM	Electric Meter
GM	Gas Meter

Legend: Site Plan Hatches

	Zone Outside of Site Plan Extents
	Road or Driveway; Re: Landscape & Civil
	Concrete Paving in R.O.W.; Re: Landscape & Civil
	Landscape Planting; Re: Landscape
	Biofiltration Planter; Re: Civil
	Existing Building or Structure; Re: Survey





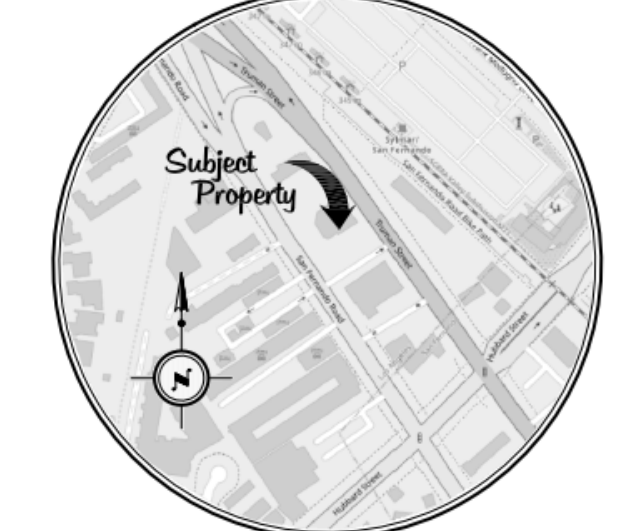
SET ISSUE:	
DATE:	ISSUE:
11.21.2022	PZA Submittal
12.15.2022	1st Plan check Submittal

PROJECT NO:	202203
DRAWN BY:	Author
CHECKED BY:	Checker
SCALE:	1/16" = 1'-0"

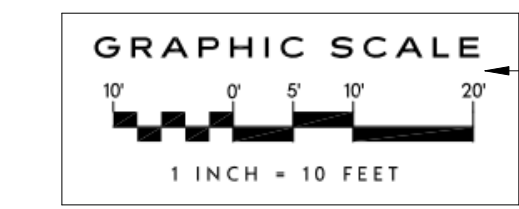
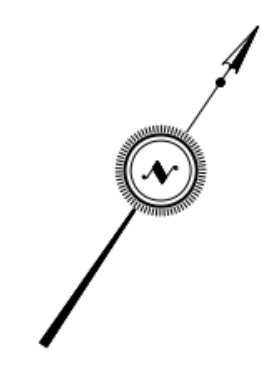
SHEET NO:

SHEET 1 OF 1 SHEET

TRACT NO. M.B. 145 / 20 - 21 10143



VICINITY MAP
 NOT TO SCALE



DISREGARD THIS GRAPHIC SCALE

SURVEYOR'S NOTES

SURVEYOR IS NOT RESPONSIBLE FOR ANY ITEMS WHICH MAY BE OMITTED FROM THIS MAP DUE TO CONSTRUCTIONS AT TIME OF SURVEY INCLUDING, BUT NOT LIMITED TO, HOMELESS ENCAMPMENTS INACCESSIBLE AREAS, STORAGE AND/OR PARKED VEHICLES.

ANY HARDSCAPE AND CONTOURS SHOWN HEREON WITHOUT SURVEY POINT DATA ARE INTERPOLATED BETWEEN THE CLOSEST SHOWN SURVEY POINTS AND SHOULD BE CONSIDERED APPROXIMATE AS ONLY AN INFINITE NUMBER OF FIELD MEASUREMENTS WOULD REPRESENT PRECISE GROUND CONDITIONS.

EASEMENTS

WFG NATIONAL TITLE COMPANY OF CALIFORNIA ORDER NO. 22-352007 MARCH 18, 2022

2. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.

3. THE RIGHT OF SOUTHERN PACIFIC RAILROAD COMPANY TO USE THE WATER OF THE CENEGAS OR SPRINGS ON THE RANCHO EX-MISSION OF SAN FERNANDO, WITH RIGHT OF WAY FOR PIPES AS RECTED AND COMBINED IN THE DEED FROM CHARLES MCGAY ET AL TO SAID SOUTHERN PACIFIC RAILROAD COMPANY, RECORDED IN BOOK 63 PAGE 382 OF DEEDS AND AS THE SAME WERE ENJOINED IN 1871 AT THE DATE OF SAID DEEDS.

4. EASEMENTS OVER SAID LOTS FOR THE CENEGAS LOCATED IN SECTION 3, TOWNSHIP 2 NORTH, RANGE 15 WEST AND SECTIONS 32 AND 33, TOWNSHIP 3 NORTH, RANGE 15 WEST, TO SAN FERNANDO CREEK, FOR PIPE LINE, DITCH, FLUME AND INCIDENTAL PURPOSES, AS GRANTED TO THE PORTER LAND AND WATER COMPANY, DEED RECORDED IN BOOK 249, PAGE 185 OF DEEDS.

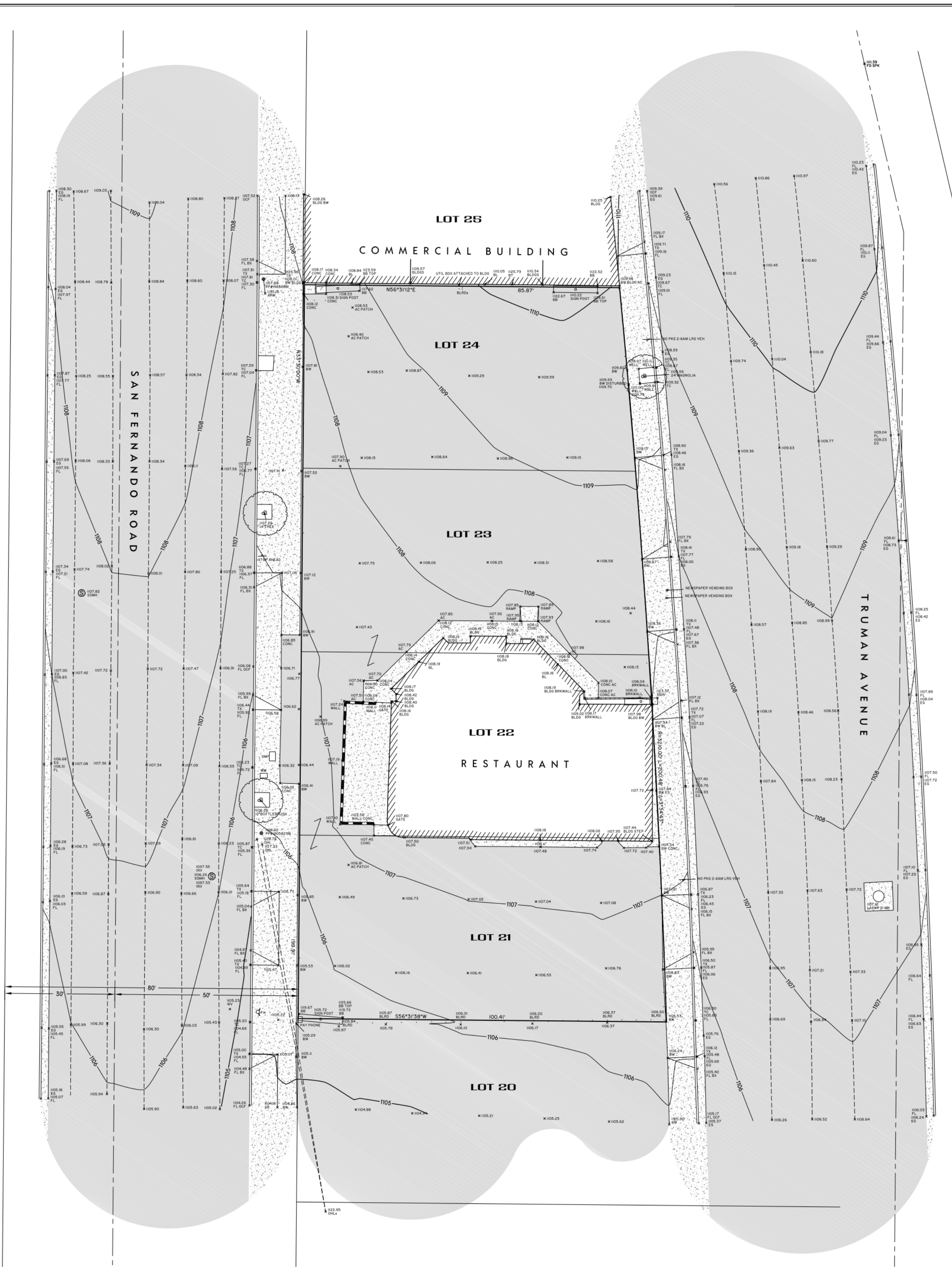
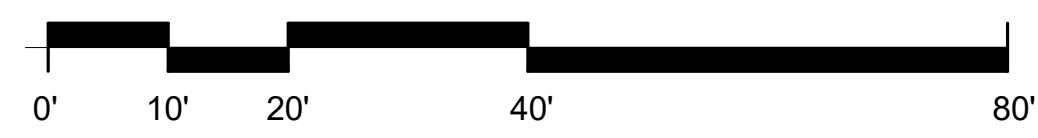
EASEMENTS ARE NOT PLOTTABLE.

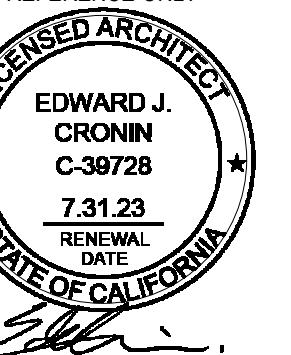
LEGEND

- OCF ZERO INCH CURB FACE
- AC ASPHALT CONCRETE
- ARM UTILITY POLE CROSS ARM
- BB BILLBOARD
- BL BUILDING LINE
- BLDG BUILDING CORNER
- BLRD BOLLARD
- BREWALL BRICK WALL
- BW BACK OF WALK
- BC BOTTOM OF DRIVEWAY X
- CONC CONCRETE
- EG EDGE OF GUTTER
- E-AH ELECTRIC MANHOLE
- EP EDGE OF PAVEMENT
- FH FIRE HYDRANT
- FL FLOW LINE
- GA GAS METER
- INVT INVERT
- OHL OVERHEAD LINE
- PP POWER POLE
- S-SMH SANITARY SEWER MANHOLE
- TB TOP OF BUILDING
- TC TOP OF CURB
- TX TOP OF DRIVEWAY X
- UTIL UTILITY
- WM WATER METER
- WV WATER VALVE

BENCHMARK

LOS ANGELES CITY BENCHMARK NO. 03-02428
 CONC. NAIL IN LEAD; NW CURB HUBBARD AVE AT BC CURB RET 5700 TRUMAN ST
 ELEVATION = 100.1% FEET NAVD 1988 DATUM
 2000 ADJUSTMENT





SET ISSUE:

DATE:	ISSUE:
11.21.2022	PZA Submittal
12.15.2022	1st Plan check Submittal

PROJECT NO:	202203
DRAWN BY:	Author
CHECKED BY:	Checker
SCALE:	As indicated

SHEET NO:

General Notes

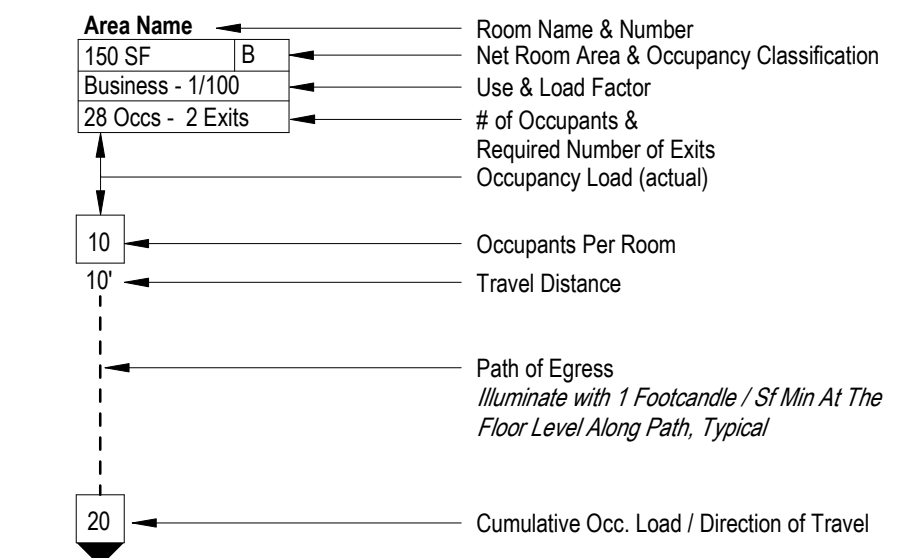
- All Exit Signs, Egress & Emergency Lighting Per Deferred Design-Build Submittal.
- All Fire Detection, Sprinkler And Alarm Systems Per Deferred Design-Build Submittal.
- Refer To Specifications For Deferred Bidder Design Submittal Requirements For Sprinkler And Standpipe Systems, Emergency Lighting, Exit Signs And Fire Detection Systems.
- A Tactile Sign Stating EXIT and complying with ICC A117.1 Shall be Provided Adjacent to Each Door to an Egress Stairway, an Exit Passageway and the Exit Discharge.
- Reference sheet G0.10 for occupancy plans and occupant load summary.
- Reference sheet A0.10-A0.12 for Door Schedule and Opening Requirements.
- General Contractor shall schedule a pre-installation conference with the building inspector to review proposed fire stopping products for the project. Prior to the scheduled meeting the general contractor shall assemble product data for each firestopping assembly with UL test report for each proposed assembly.
- Provide Automatic Sprinkler System Throughout in Accordance with NFPA 13.
- Provide Two-Way Communication System at Elevator Lobbies, Connected to and Monitored by Building Alarm System.
- Penetrations Into and Through Interior Exit Stairway Walls Are Prohibited, Except:
 - Equipment and Ductwork Necessary for Independent Ventilation and Pressurization.
 - Fire Protection Systems.
 - Security Systems.
 - Two-Way Communication System.
 - Electrical Raceway for Fire Department Communication Systems.
 - Electrical Raceway Serving Interior Exit Stairway and Terminating at a Steel Box Not Exceeding 16 Square Inches.
- Provide a Portable Fire Extinguisher with a Minimum Rating of 1-A:10-B:C in Each Unit Kitchen.
- 0.2 Occupant Load Factor at Stairways (CBC 1005.3.1 Stairways, Exception 1); 44" Minimum Width at Stairways (CBC 1011.2 Width and Capacity); 36" Minimum Width at Stairways for Occupant Load < 30.
- 0.15" Occupant Load Factor at Other Egress Components (CBC 1005.3.2 Other Egress Components, Exception 1).
- Walks, Pedestrian Ways, and Other Circulation Spaces Which are Part of the Required Egress System Shall have a Minimum Clear Headroom as Required in Section 1003.2. Other Walks, Pedestrian Ways, and Circulation Spaces Shall have a Minimum Clear Headroom of 80 inches.

Fire Rated Separations

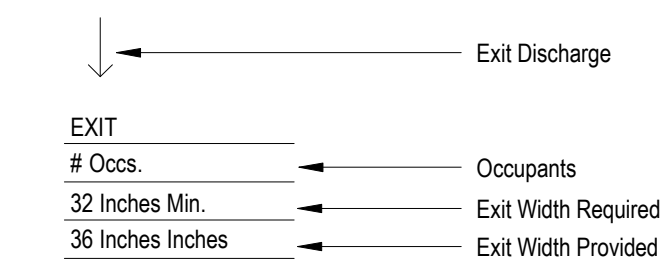
- 1/2 Hour Fire Partition
- 1 Hour Fire Partition
- 2 Hour Fire Barrier
- 3 Hour Fire Barrier

Symbols Legend

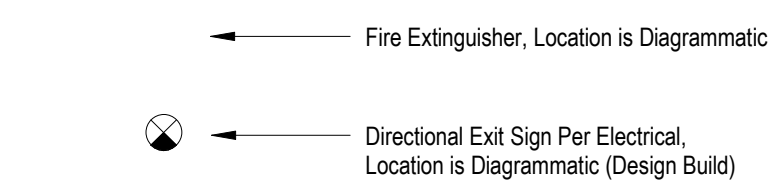
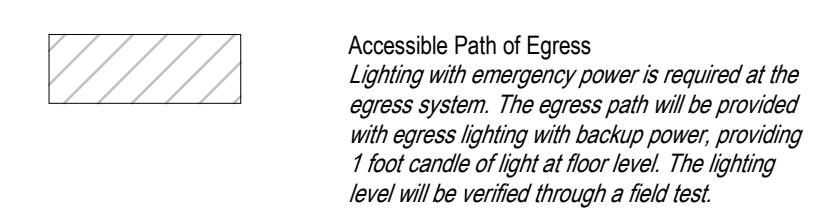
Room Data



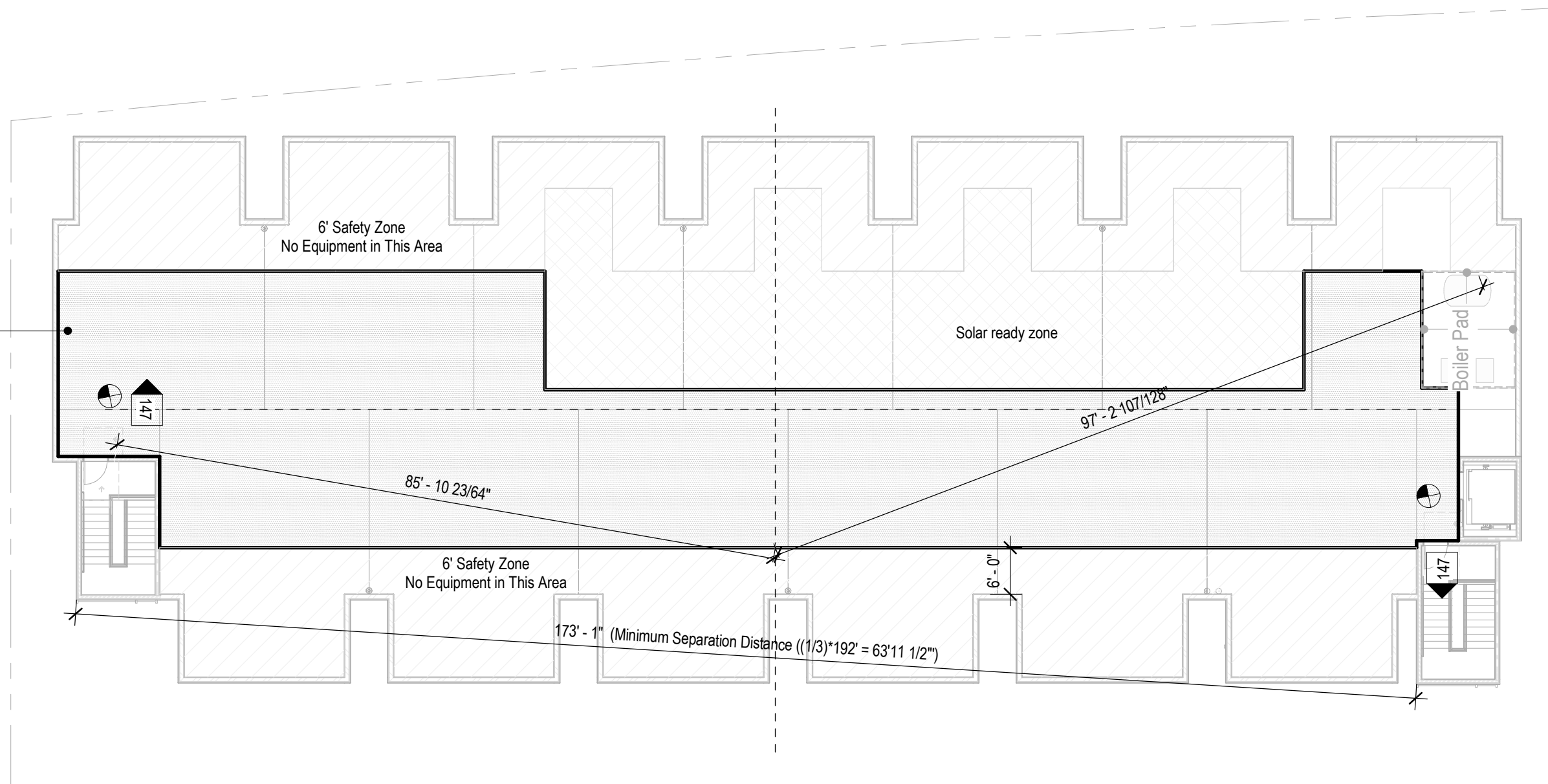
Exiting Data



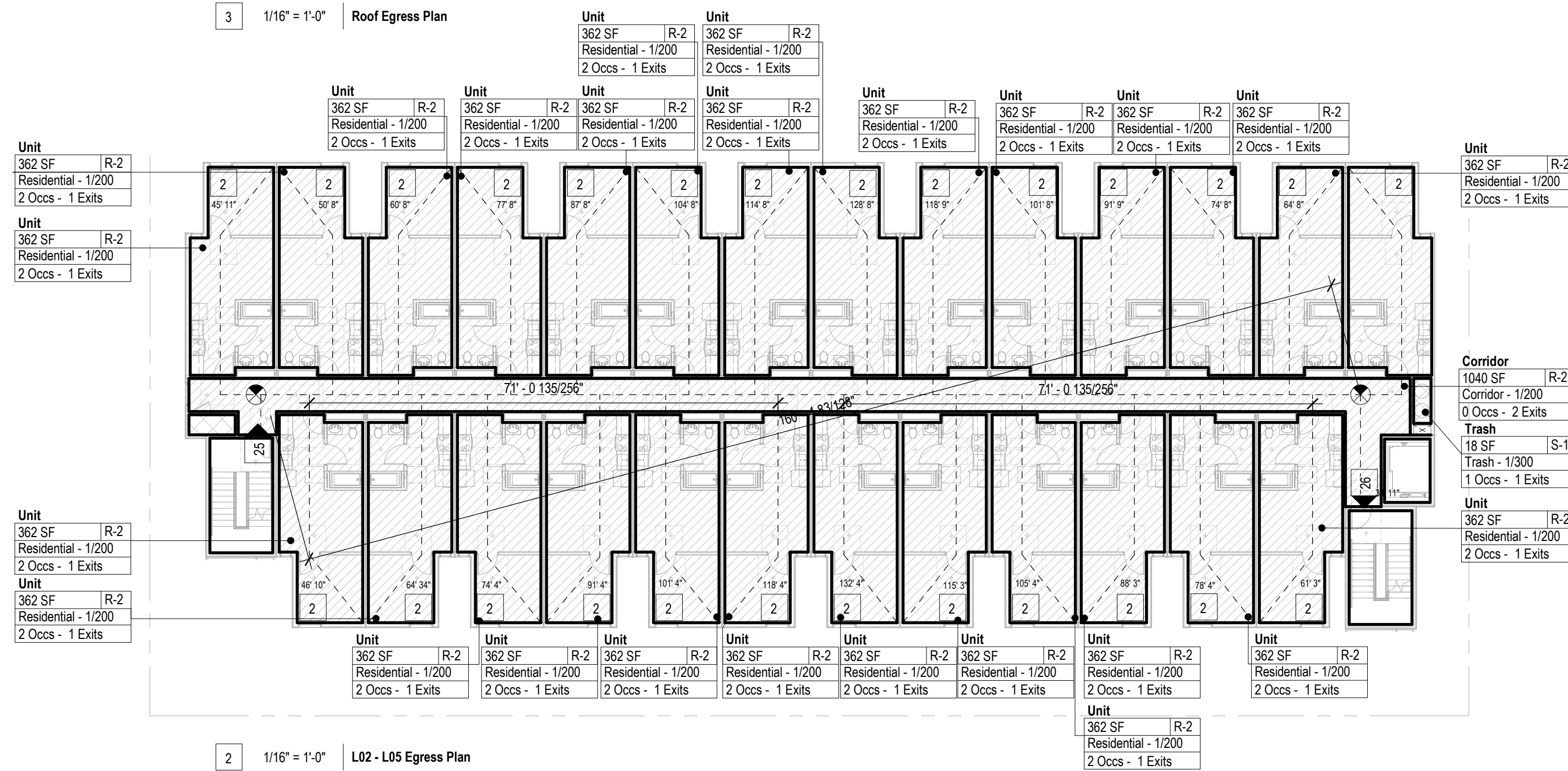
Area Designation



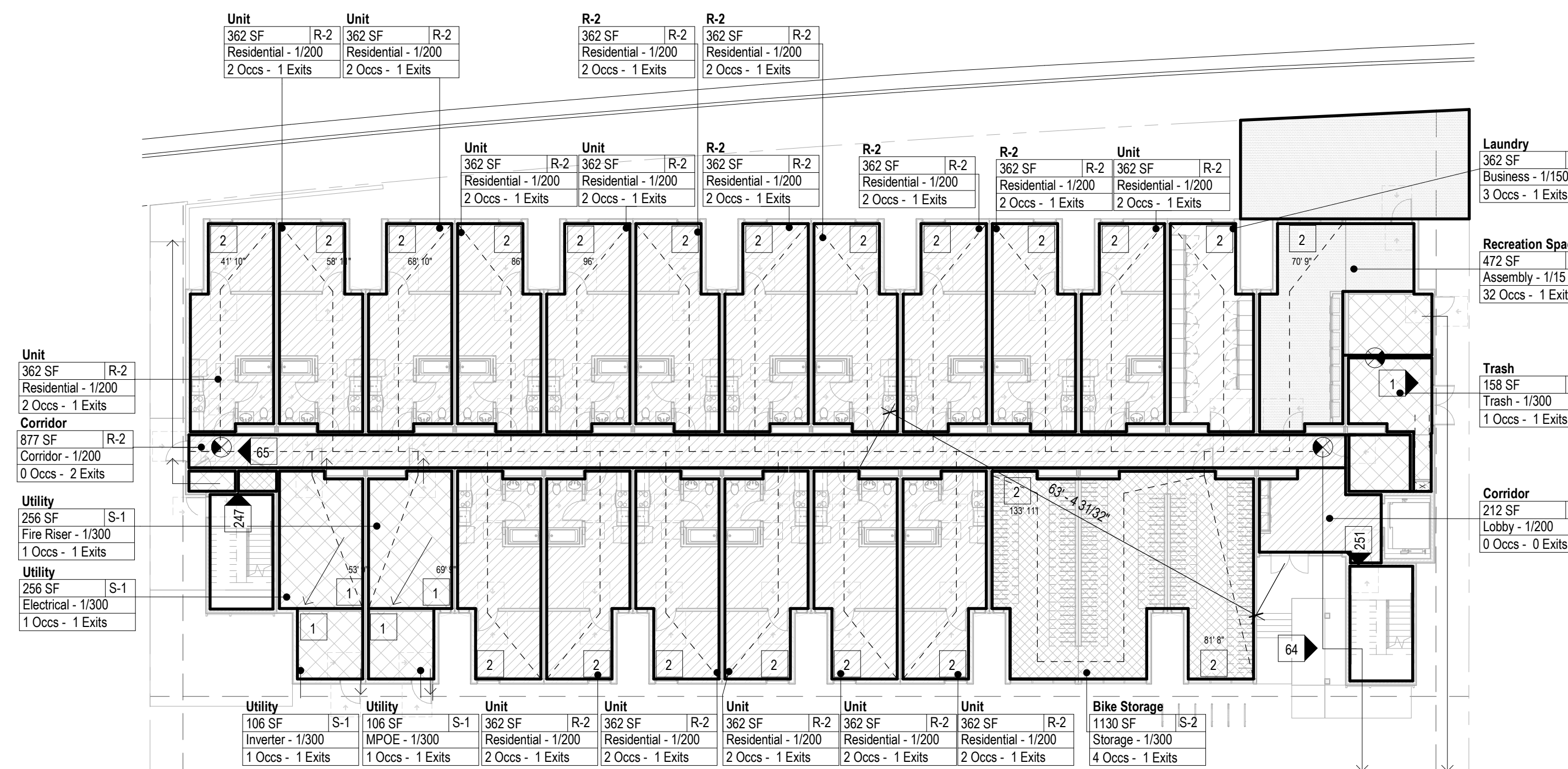
Note: See Door Schedule For Fire Rated Doors



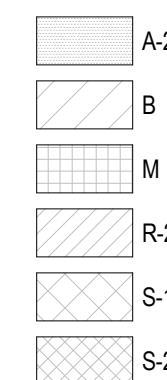
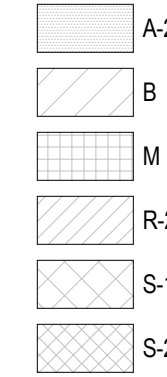
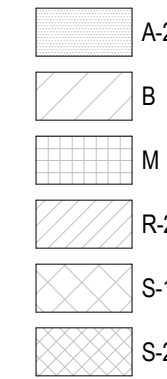
3 1/16" = 1'-0" Roof Egress Plan



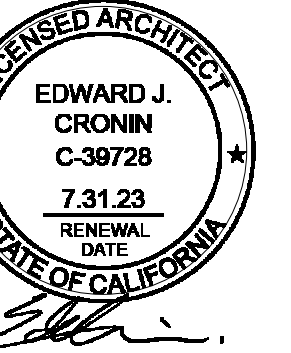
2 1/16" = 1'-0" L02 - L05 Egress Plan



1 1/16" = 1'-0" L01 - Egress Plan



NOT FOR CONSTRUCTION
REFERENCE ONLY

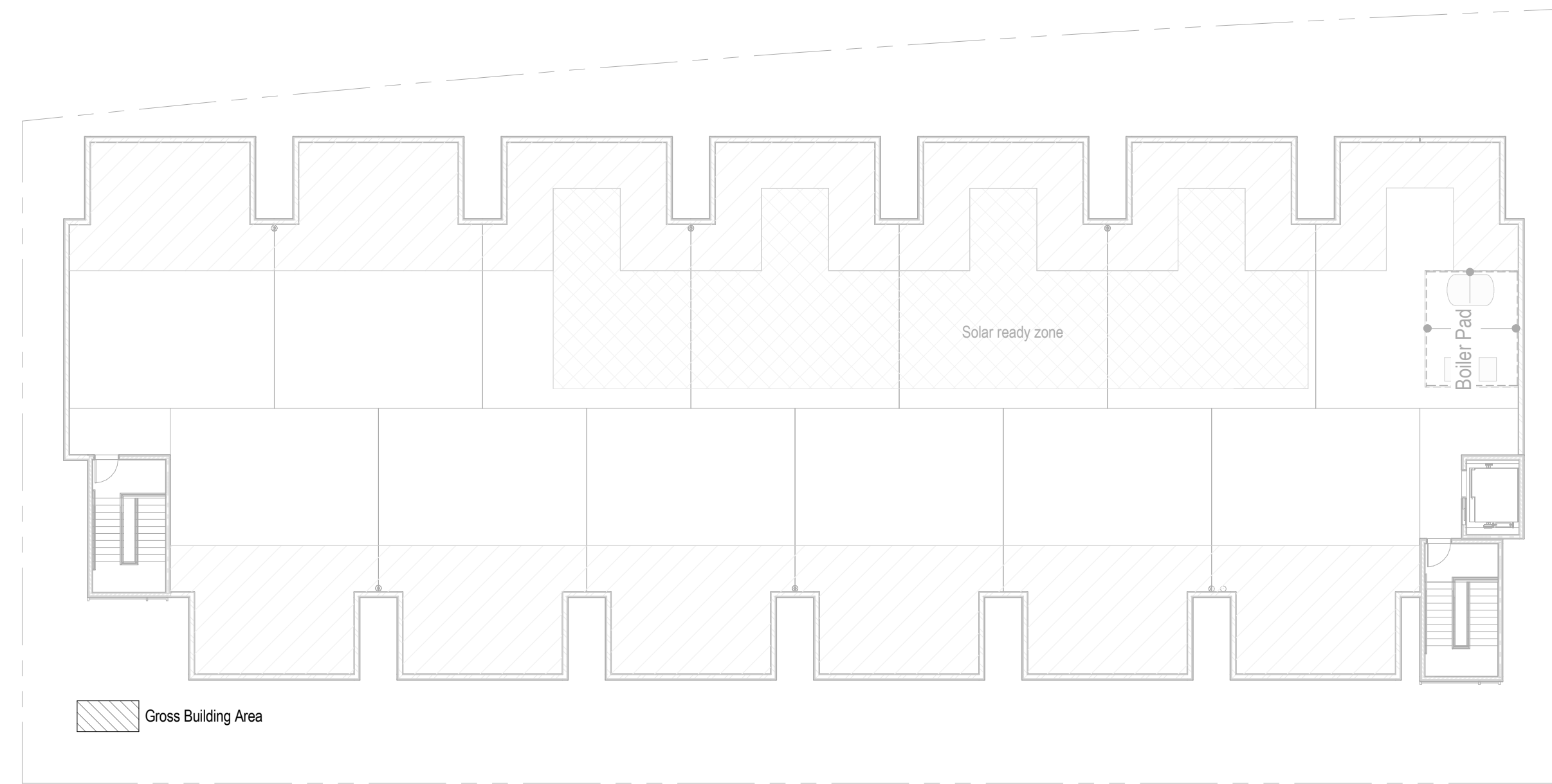


SET ISSUE :
DATE : ISSUE :
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

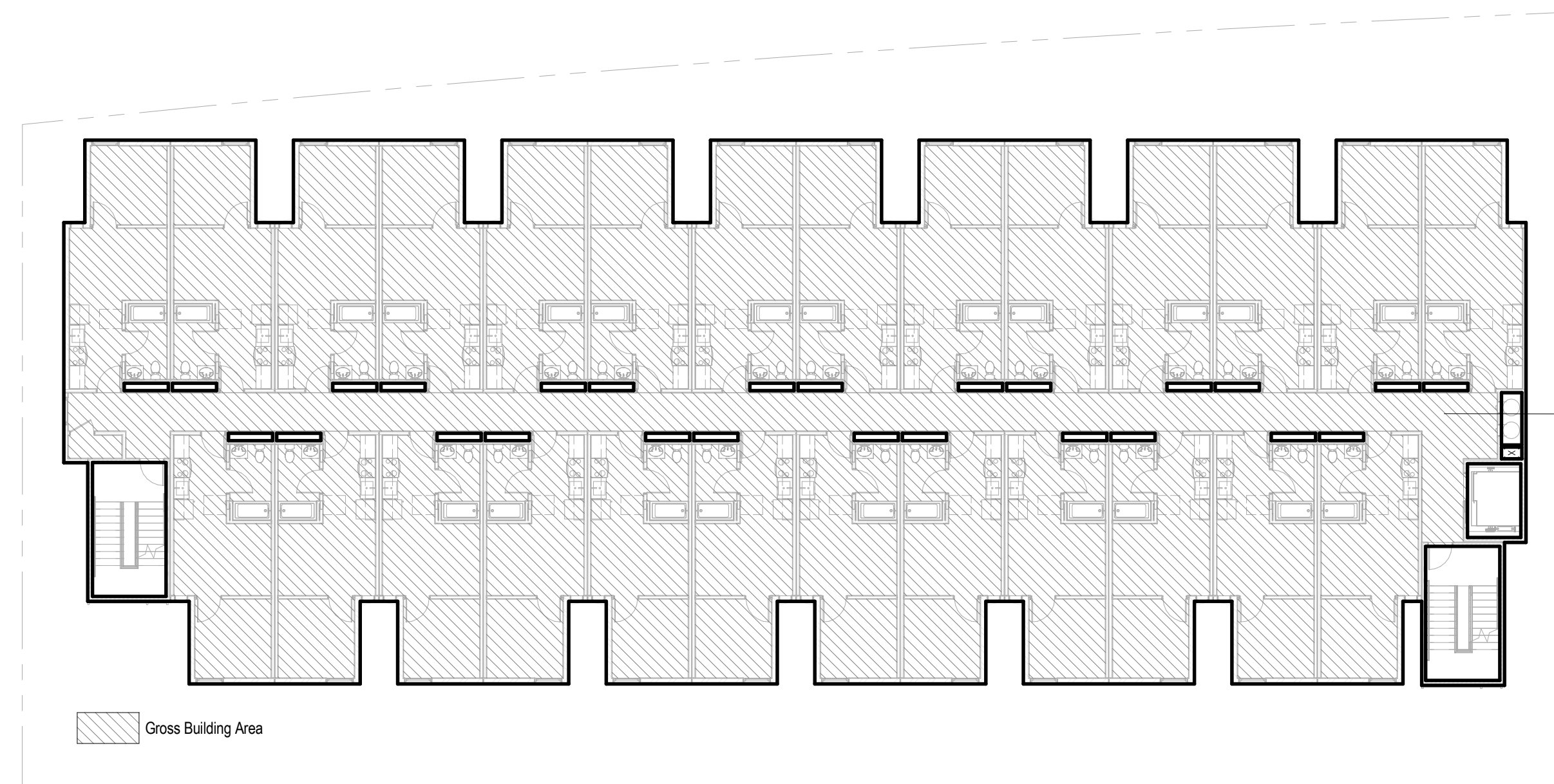
PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE : 1/16" = 1'-0"

SHEET NO :

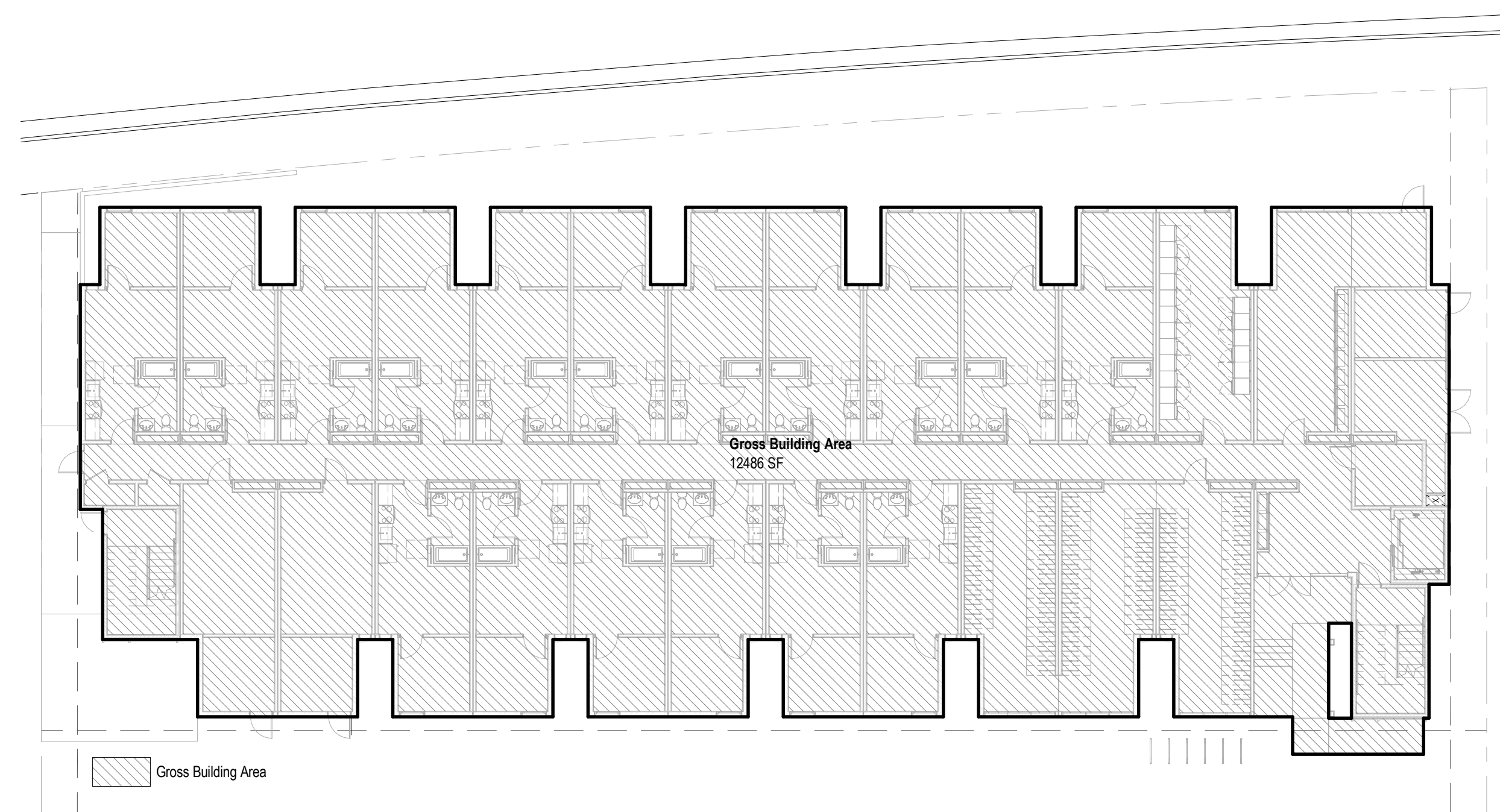
Gross Square Footage Schedule			
Level	Area Type	Area	Comments
L01	Gross Building Area	12486 SF	
L02	Gross Building Area	11846 SF	
L03	Gross Building Area	11846 SF	
L04	Gross Building Area	11846 SF	
L05	Gross Building Area	11846 SF	
Total GSF		59870 SF	



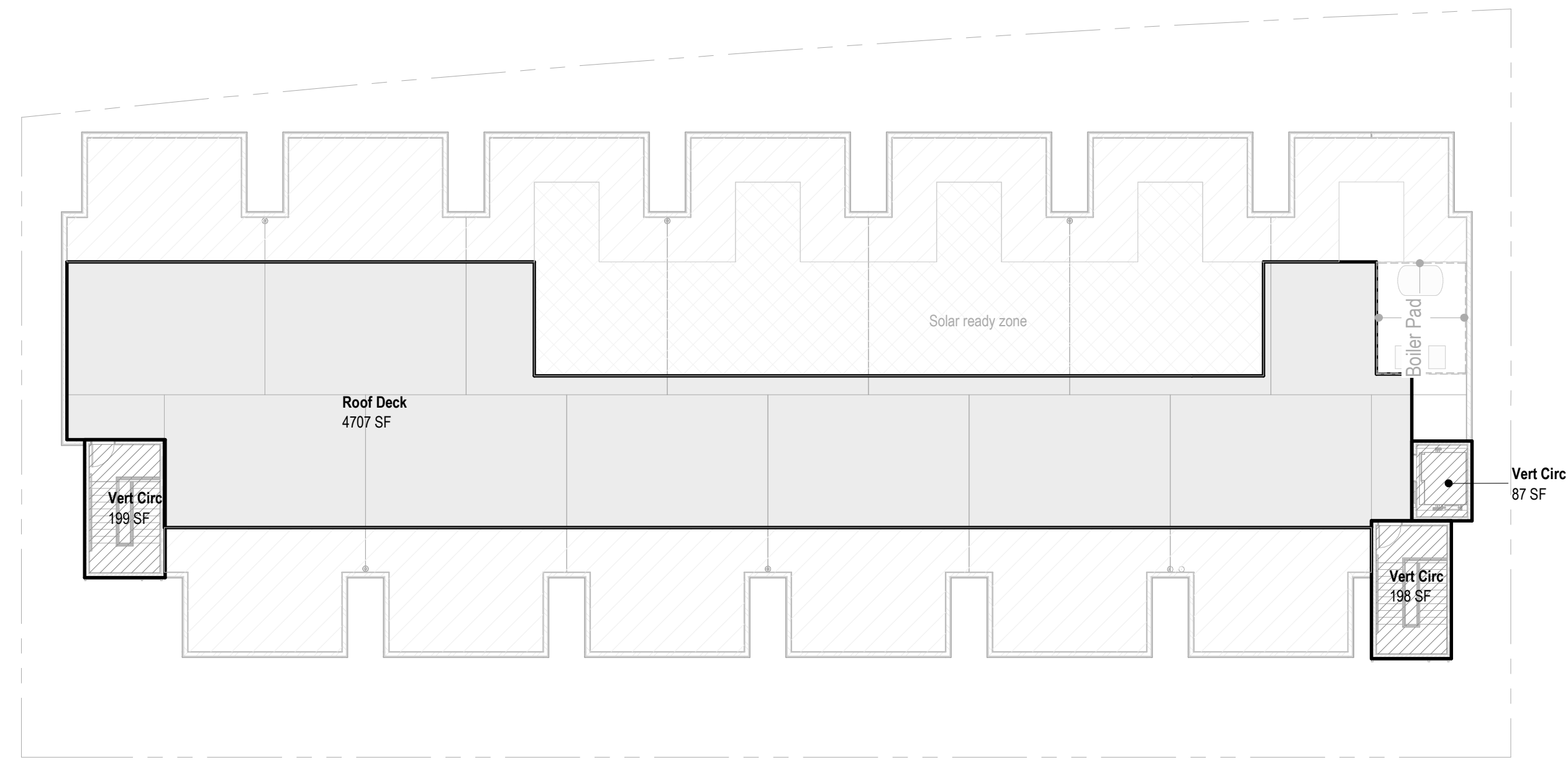
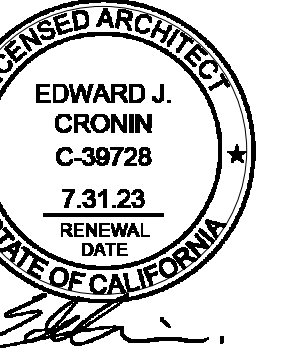
3 1/16" = 1'-0" Roof Level Gross Square Footage



2 1/16" = 1'-0" L02 - L05 Gross Square Footage



1 1/16" = 1'-0" L01 Gross Square Footage



6 1/16" = 1'-0" Roof

Building Area
 Omit

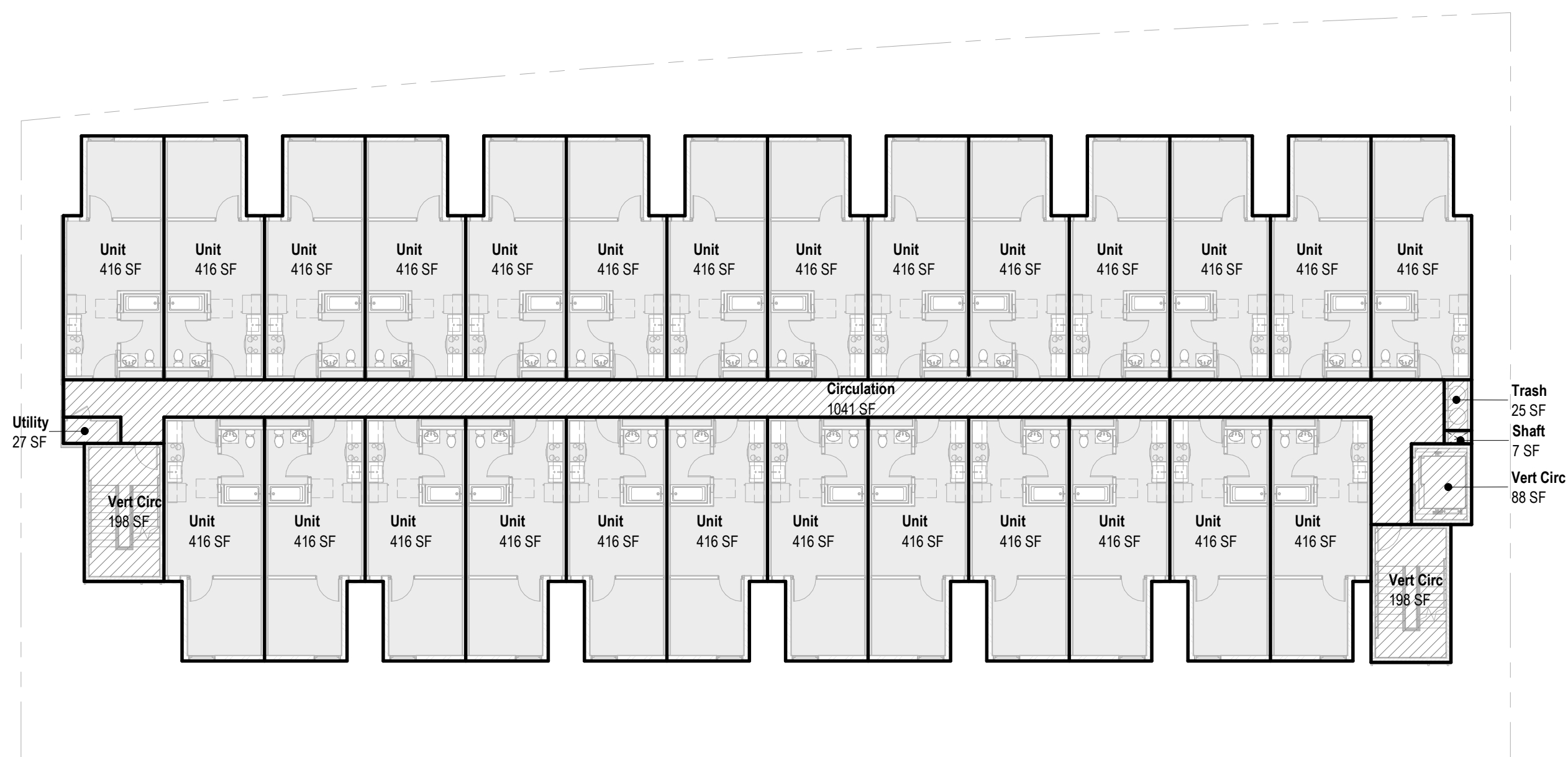
Building Area Schedule		
Name	Count	Area
L01		
Bicycle	1	1248 SF
Circulation	1	1120 SF
Electric	1	292 SF
Electrical	1	135 SF
Elev. Control	1	84 SF
Fire Riser	1	292 SF
Inverter	1	124 SF
Laundry	1	416 SF
MPOE	1	124 SF
Shaft	1	21 SF
Storage	1	184 SF
Trash	1	25 SF
Utility	1	27 SF
Vert Circ	3	484 SF
Recreation	1	538 SF
Unit	17	7078 SF
L01		12175 SF

Building Area Schedule		
Name	Count	Area
L05		
Circulation	1	1041 SF
Shaft	1	7 SF
Trash	1	25 SF
Utility	1	27 SF
Vert Circ	3	484 SF
Unit	26	10815 SF
L05		12399 SF

Building Area Schedule		
Name	Count	Area
Roof		
Roof Deck	1	4707 SF
Vert Circ	3	484 SF
Roof		5191 SF

Building Area Schedule		
Name	Count	Area
Grand Total SF		66960 SF

Building Area Schedule		
Name	Count	Area
L02		
Circulation	1	1041 SF
Shaft	1	7 SF
Trash	1	25 SF
Utility	1	27 SF
Vert Circ	3	484 SF
Unit	26	10815 SF
L02		12399 SF

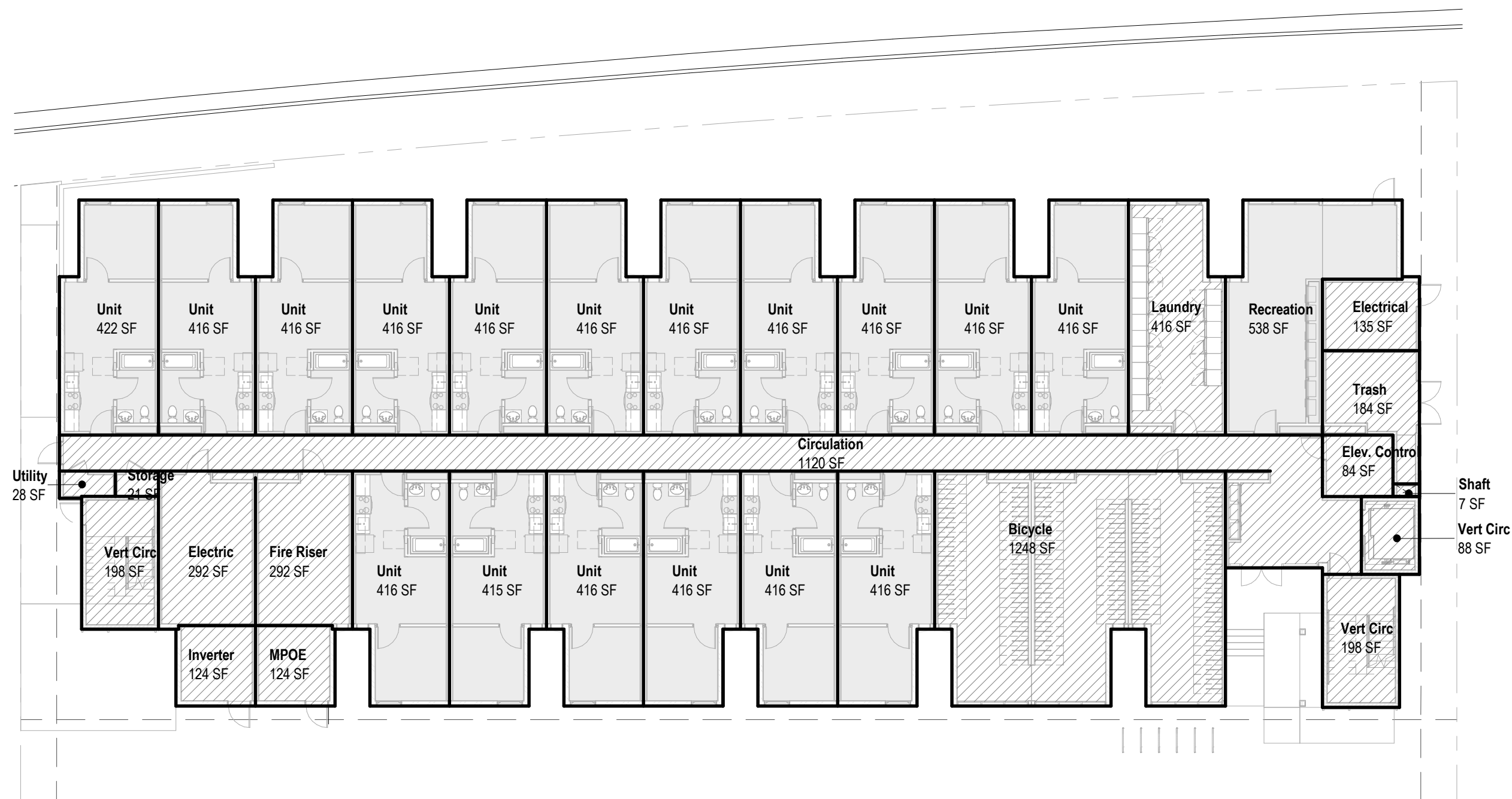


2 1/16" = 1'-0" L02

Building Area
 Omit

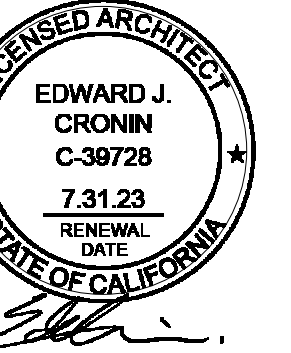
Building Area Schedule		
Name	Count	Area
L03		
Circulation	1	1041 SF
Shaft	1	7 SF
Trash	1	25 SF
Utility	1	27 SF
Vert Circ	3	484 SF
Unit	26	10815 SF
L03		12399 SF

Building Area Schedule		
Name	Count	Area
L04		
Circulation	1	1041 SF
Shaft	1	7 SF
Trash	1	25 SF
Utility	1	27 SF
Vert Circ	3	484 SF
Unit	26	10815 SF
L04		12399 SF



1 1/16" = 1'-0" L01

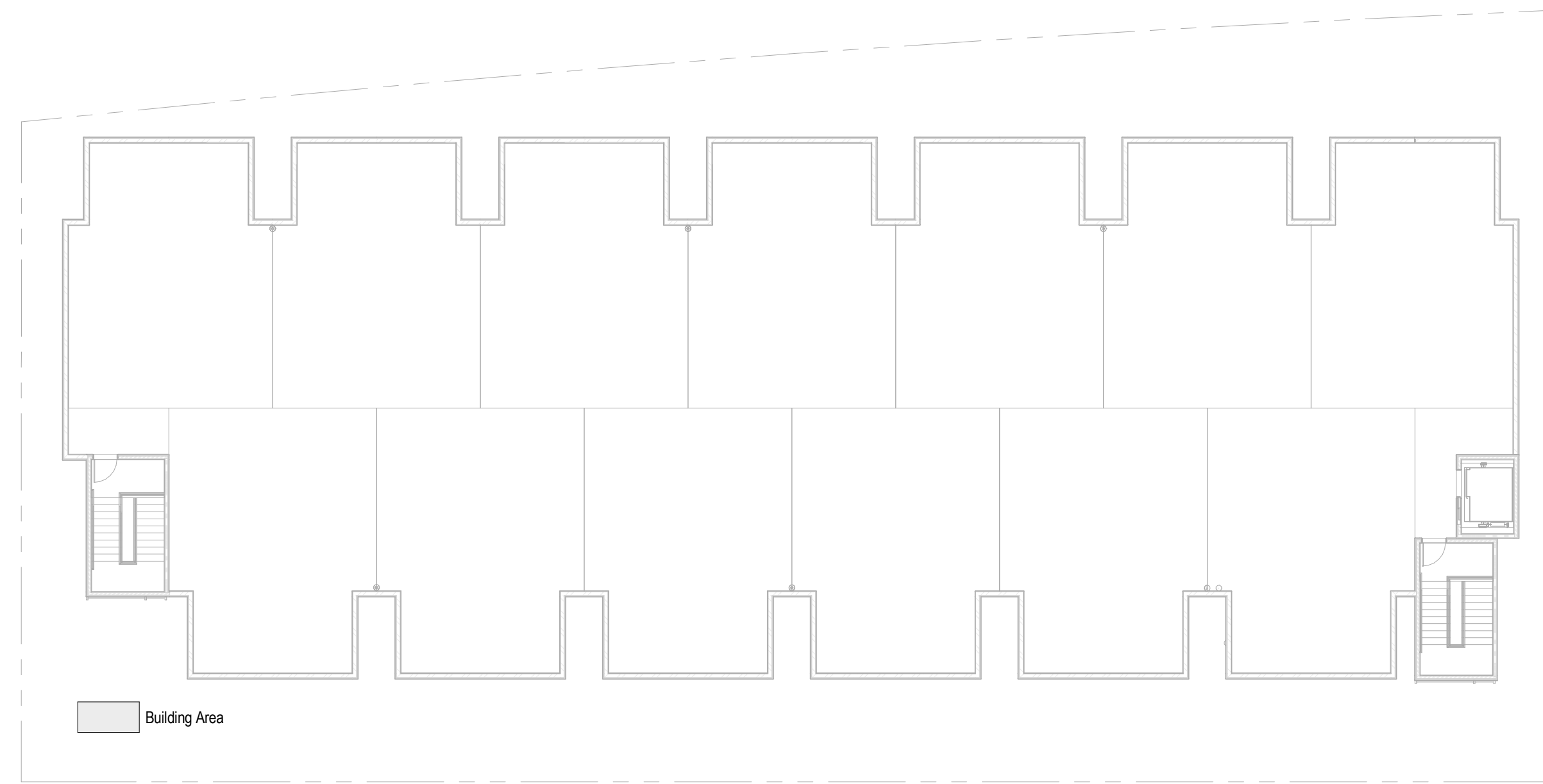
Building Area
 Omit



SET ISSUE : _____
DATE : _____ ISSUE : _____
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE : 1/16" = 1'-0"

SHEET NO :



3 1/16" = 1'-0" Roof Level Unit Mix



2 1/16" = 1'-0" L02 - L05 Unit Mix



1 1/16" = 1'-0" L01 Unit Mix

Section 8 Minimum Size Compliance (Min. 70 SF of usable space and a closet in Bedroom)
Section 8 Minimum Size Compliance (Every dwelling unit shall have at least one habitable room with a minimum of 120 SF of floor area.); See Also Section 8 Unit Compliance in the Legend on this Sheet

Section 8 Minimum Size Compliance (Min. 70 SF of usable space and a closet in Bedroom)
Section 8 Minimum Size Compliance (Every dwelling unit shall have at least one habitable room with a minimum of 120 SF of floor area.); See Also Section 8 Unit Compliance in the Legend on this Sheet

Unit Mix			
Unit Type	Area	Count	Total Area
L01			
Unit A	388 SF	8	3101 SF
Unit A-R	388 SF	9	3489 SF
L01			6591 SF

Unit Mix			
Unit Type	Area	Count	Total Area
L04			
Unit A	388 SF	13	5040 SF
Unit A-R	388 SF	13	5040 SF
L04			10080 SF

Unit Mix			
Unit Type	Area	Count	Total Area
L02			
Unit A	388 SF	13	5040 SF
Unit A-R	388 SF	13	5040 SF
L02			10080 SF

Unit Mix			
Unit Type	Area	Count	Total Area
L05			
Unit A	388 SF	13	5040 SF
Unit A-R	388 SF	13	5040 SF
L05			10080 SF

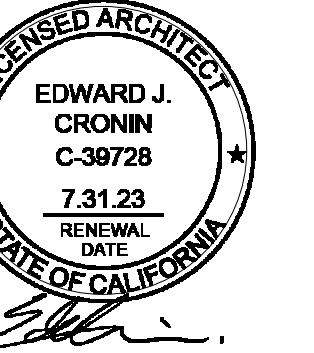
Unit Mix			
Unit Type	Area	Count	Total Area
L03			
Unit A	388 SF	13	5040 SF
Unit A-R	388 SF	13	5040 SF
L03			10080 SF

Unit Mix			
Unit Type	Area	Count	Total Area
Grand total SF			46909 SF

Unit Mix Summary			
Unit Type	Area	Count	Total Area
Unit A	388 SF	60	23261 SF
Unit A-R	388 SF	61	23648 SF
Total		121	46909 SF

Unit Type	Count
1-Bedroom	121
Total:	121
R Denotes "Reverse"	

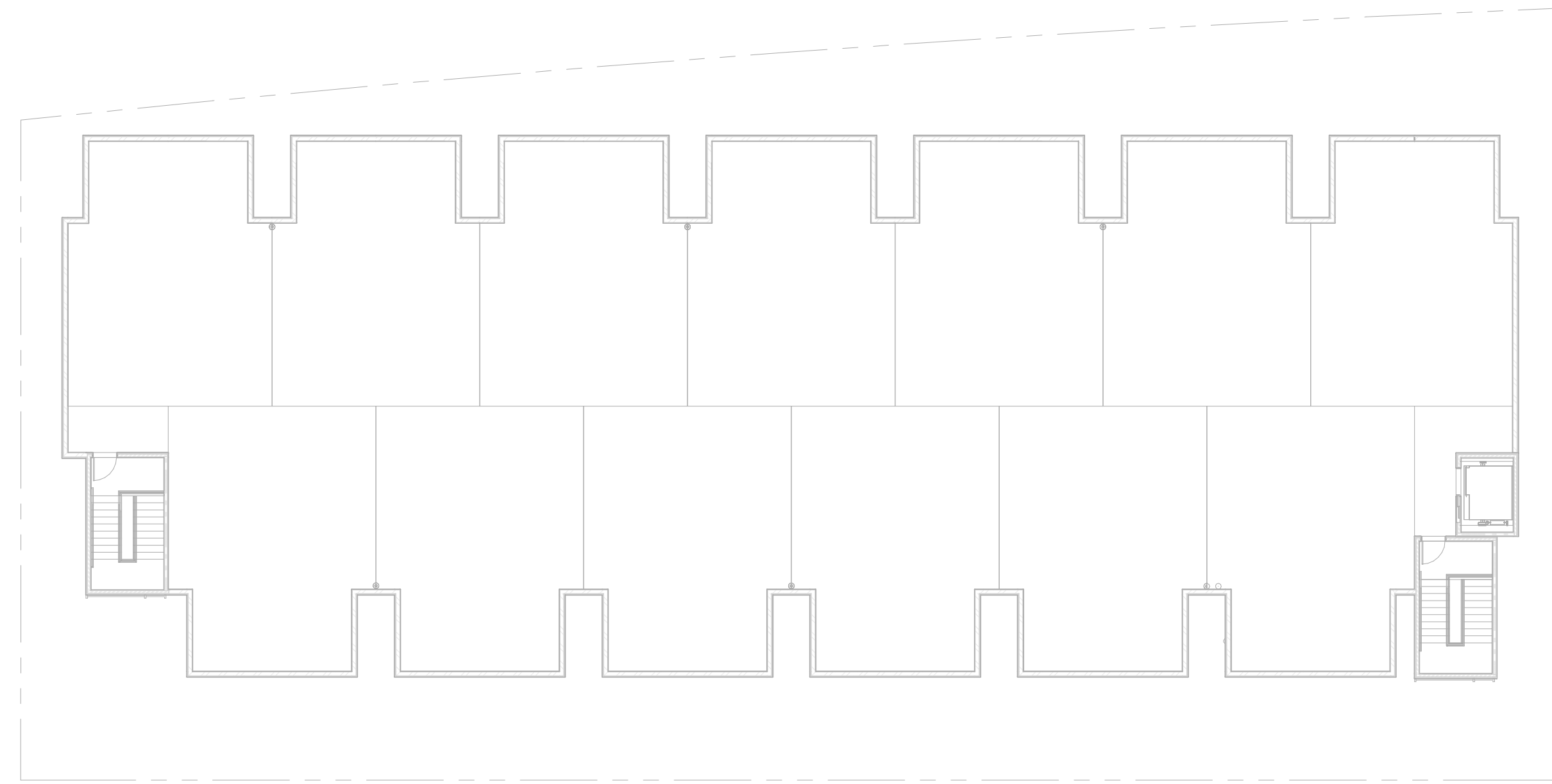
Section 8 Unit Compliance	
Unit A (Typical 1 Bedroom in Project)	
Unit A-R (Typical 1 Bedroom in Project)	See 2/G0.14



SET ISSUE : _____
DATE : _____ ISSUE : _____
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE : 1/16" = 1'-0"

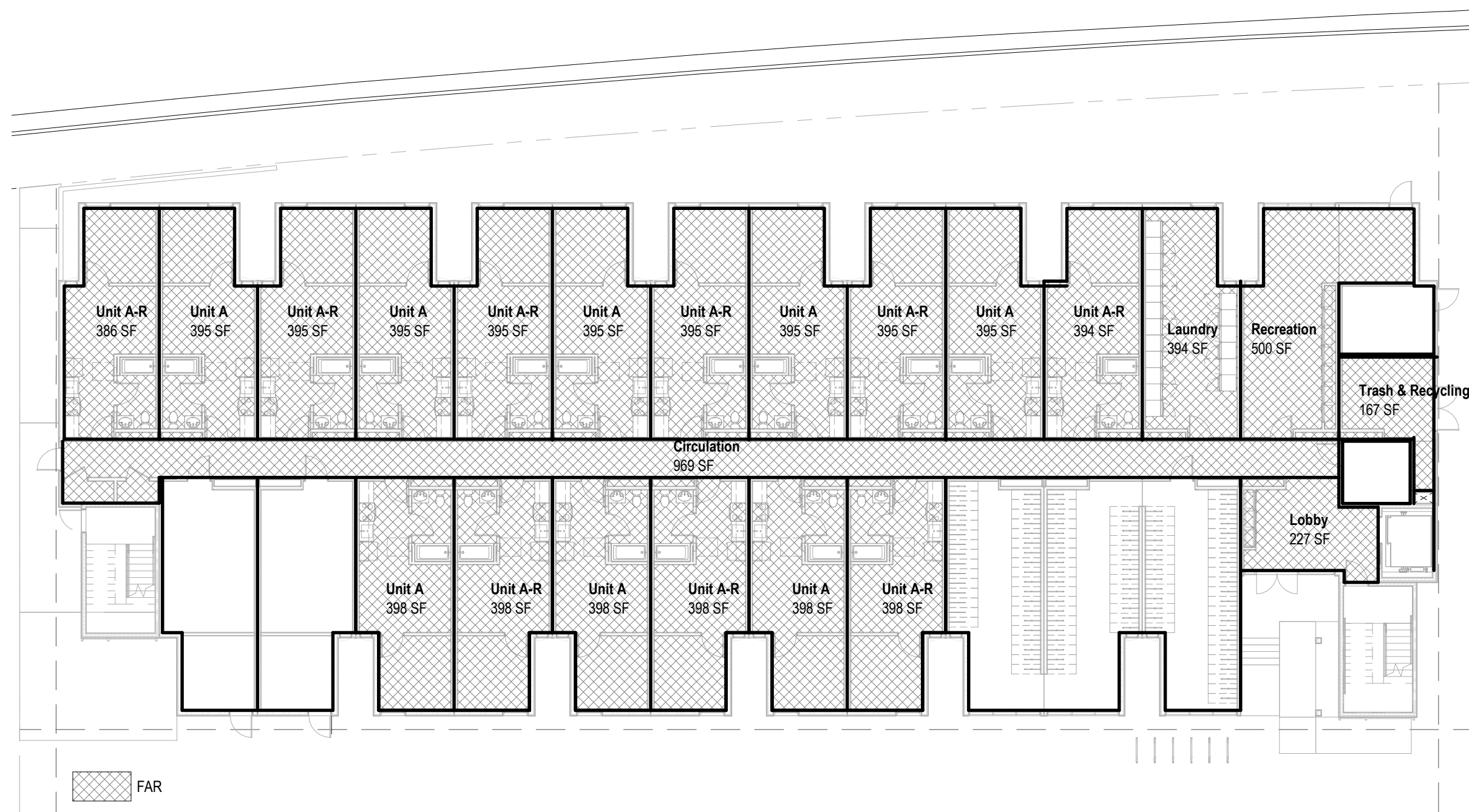
SHEET NO :



3 1/16" = 1'-0" Roof Level - FAR



2 1/16" = 1'-0" L02 - L05 Unit FAR



1 1/16" = 1'-0" L01 Unit - FAR

Area Plans - FAR		
Name	Level	Area

L01		
Circulation	L01	969 SF
Laundry	L01	394 SF
Lobby	L01	227 SF
Recreation	L01	500 SF
Trash & Recycling	L01	167 SF
Unit A	L01	3169 SF
Unit A-R	L01	3554 SF
L01: 22		8980 SF

L02		
Circulation	L02	1065 SF
Unit A	L02	5169 SF
Unit A-R	L02	5169 SF
L02: 27		11402 SF

L03		
Circulation	L03	1065 SF
Unit A	L03	5169 SF
Unit A-R	L03	5169 SF
L03: 27		11402 SF

L04		
Circulation	L04	1065 SF
Unit A	L04	5169 SF
Unit A-R	L04	5169 SF
L04: 27		11402 SF

L05		
Circulation	L05	1065 SF
Unit A	L05	5169 SF
Unit A-R	L05	5169 SF
L05: 27		11402 SF
Grand total		54590 SF

Allowable FAR per AB 2345: 4.05:1

Buildable Lot Area: 18,829 SF

Allowable FAR: 18,829 x 4.05 = 76,257 SF

Proposed FAR: 54,590 SF (2.90:1)

Note:

LAMC 12.03. DEFINITIONS. FLOOR AREA. (Amended by Ord. No. 182,386, Eff. 3/13/13.)
The area in square feet confined within the exterior walls of a Building, but not including the area of the following: exterior walls, stairways, shafts, rooms housing Building-operating equipment or machinery, parking areas with associated driveways and ramps, space dedicated to bicycle parking, space for the landing and storage of helicopters, and Basement storage areas.

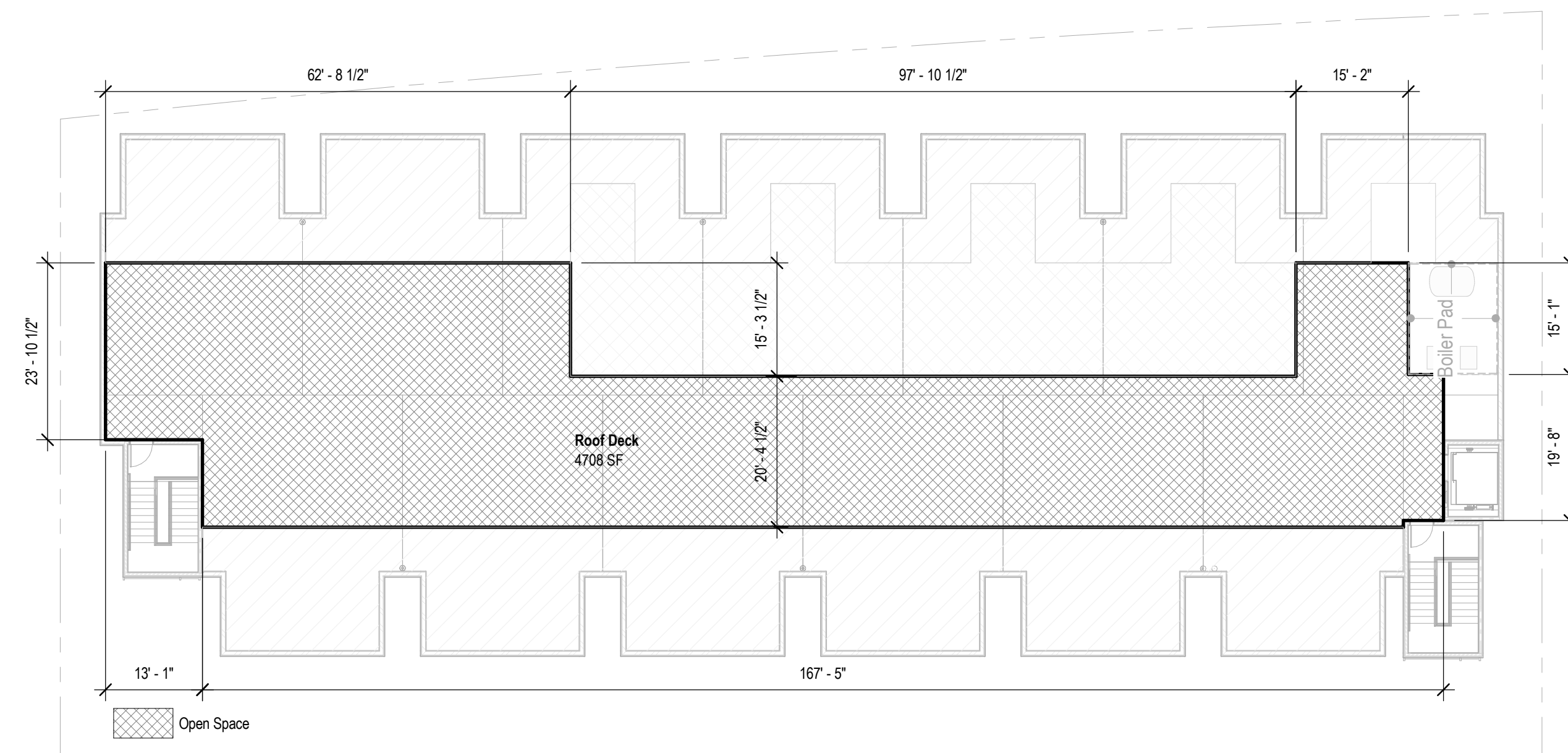
Area Plans - Open Space	
Area	Type

L01	
Common Open Space	
547 SF	Courtyard
547 SF	

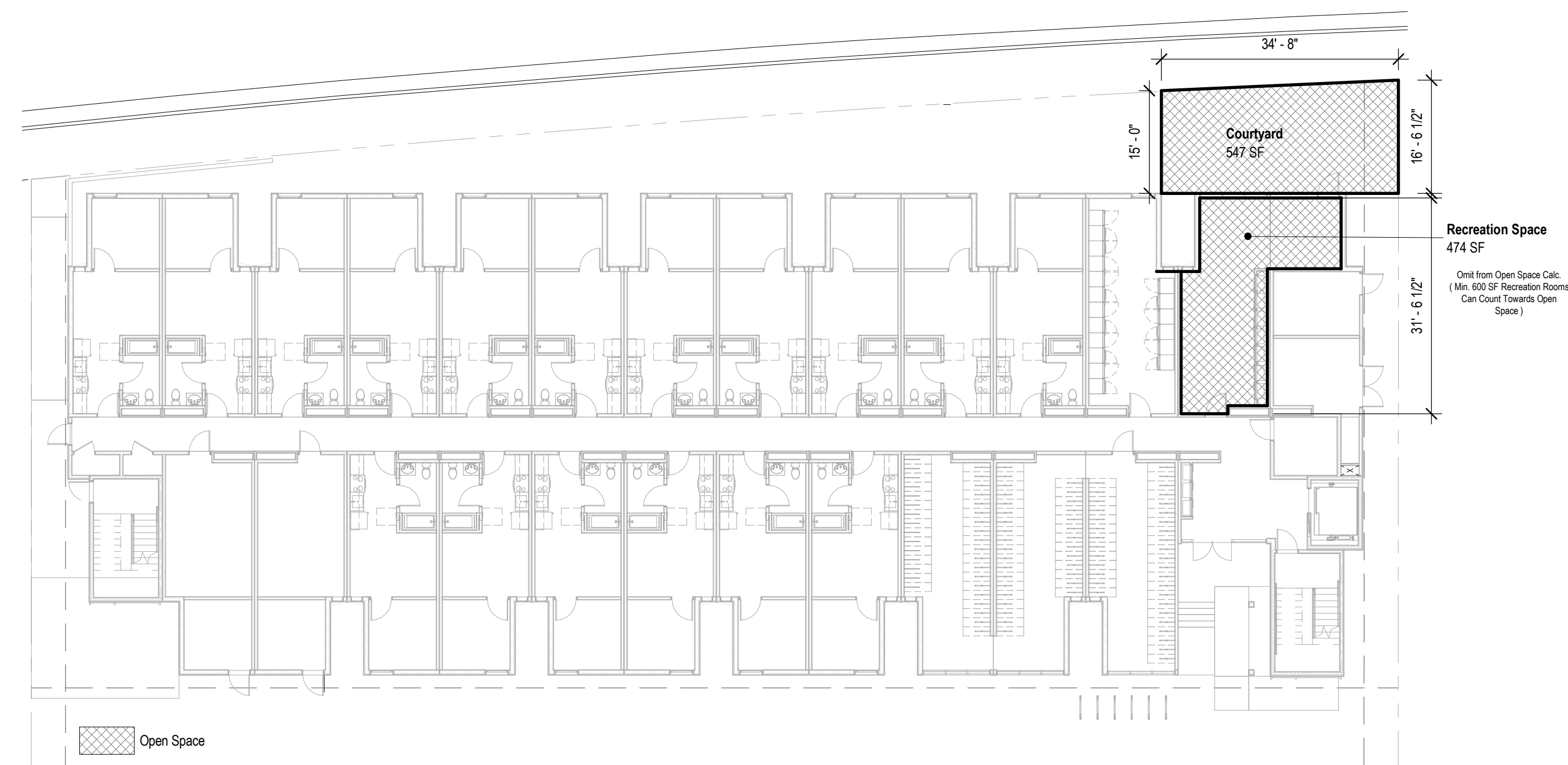
Roof	
Common Open Space	
4708 SF	Roof Deck
4708 SF	
5255 SF	

Open Space Required / Provided	Required	Provided
Allowable Open Space w/20% decreased in Open Space per AB 2345 Incentive	9,680SF	5,255 SF
Minimum Common Open Space w/AB 2345 Incentive	4,840 SF	5,255 SF
Required Landscaping	2,420 SF	2,420 SF
Required Trees	31	31

- A 100% Affordable AB 2345 Project with requests for Off-Menu Incentives and Waivers:**
- Reduction of Side Set Back to 5 ft from 8 ft (LAMC)
 - 54.3% Reduction of Open Space Requirement (LAMC)
 - 19% Reduction of CPIO Glazing Requirement (LAMC)
 - Waiver of One (1) Parking Space for every 20 Dwelling Units or Guest Rooms.
 - Waiver of the CPIO Ground - Floor Commercial Requirement for 75% of the Primary Frontage and Limitation of Dwelling Units on the Ground Level.

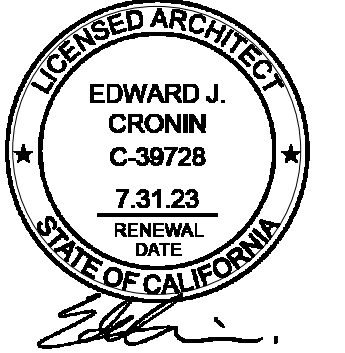


3 1/16" = 1'-0" Roof Level Open Space



1 1/16" = 1'-0" L01 Open Space

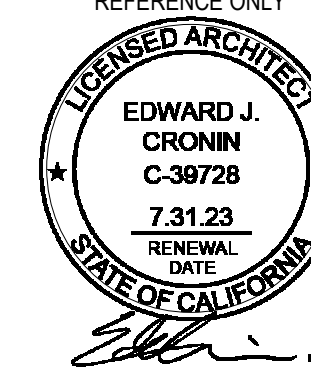
NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE :
DATE : ISSUE :
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE : 1/16" = 1'-0"

SHEET NO :



SET ISSUE :
DATE : ISSUE :
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE : As indicated

SHEET NO :

General Notes

CPIO Requirements.

Building Design. In addition to any regulations set forth by the underlying zone and the LAMC, Projects with new construction or additions shall comply with the following building design regulations:

- Per Table II - Ground Floor Commercial Use Limitation:**
 - Provide Ground Floor Commercial uses along a Primary Frontage (San Fernando Road), at a min. Depth of 25 FT or the entire depth of the building, for a min. of 75% of the length of the Primary Frontage, excluding any area used for pedestrian and vehicular circulation.
 - Units are limited to upper floors above non-residential uses, or behind non-residential uses that are at least 25 FT in depth.

- Articulation.** All exterior building walls shall provide a break in the plane, or a change in material, at least every 25 FT horizontal of building facadefacing a street, a building shall incorporate at least one item from three of the four following categories:
 - Category 1: Columns, Plaster, posts, or trellises
 - Category 2: Wall recessed, projections, or offset
 - Category 3: Arcades, awnings, or canopies
 - Category 4: Windows or Storefront Bay

- Glazing:** The Primary Frontage of any building that has non-residential uses on the ground floor shall consist of at least 50% transparent doors and windows.

- Building Elevations & Facade:** Building entrance and/or Windows shall includes at least one item from three of the four following categories:
 - Category 1: Projections or recessed entrances and windows with a minimum four inches recessed
 - Category 2: Decorative pedestrian lighting
 - Category 3: Courtyards, entry ways, or landing porches
 - Category 4: Planter Boxes, window sills, shutters, canopies, or awnings

Decorative screen wall, a trellis with climbing vines or plant materials, a landscped planting bed, or other continuous architectural element shall be installed on all blank walls facing a street or parking lot

- Entrances & Pedestrian Circulation:**
 - A Prominent ground or first floor entry shall be created such as a lobby or atrium, along the primary frontage
 - Pedestrian pathways leading directly from the public sidewalk to the primary building entrances, pedestrian amenity spaces, and parking areas shall be provided. A change in grade, materials, textures, colors, or landscaping to improve pedestrian visibility and safety shall be used.
 - Ancillary lighting shall be provided along pedestrian and vehicular access ways. All outdoor lighting and direct lighting shall be shielded onto the pathway.

- Parking and Vehiculat Circulation (Design):**
 - New surface parking shall be located at the rear or side of buildings and/ or provide a semi-subterranean or subterranean grade.
 - Side streets or alleys are the primary point of vehicular access to off-street parking, loading areas, and trash enclosures, unless determined infeasible by the department of transportation
 - Architectural openings, and use varied building materials, decorative screening, climbing vines, or green walls.
 - On site surface parking which abuts a sidewalk and/ or street, a max. 42 inches in height hedge or landscped wall or fence shall be installed within five feet of the entire length of the street

- Open Space:**
 - For every 100 SF of non-residential floor area, one sq. ft. of open space shall be provided. The min. Open Space area is 200 SF, with max. of 5,000 sf of open space required for the project site.
 - Open Space shall be visible and accessible from the Primary Frontage side walk and include pedestrian amenities, such as benches, landscaping, water features, and tables.

- Yard, Parkways:**
 - Improved with landscaping that separates the curb from the sidewalk with native and / or drought tolerant species, low-growing vegetation, or permeable materials, and shade street trees. Trees shall be planted along parkways to the satisfaction of the Urban Forestry Division Bureau of Street Service.
 - Native and /or drought tolerant plant species shall be used and installed with an automatic irrigation system or comparable watering system on all landscape areas.

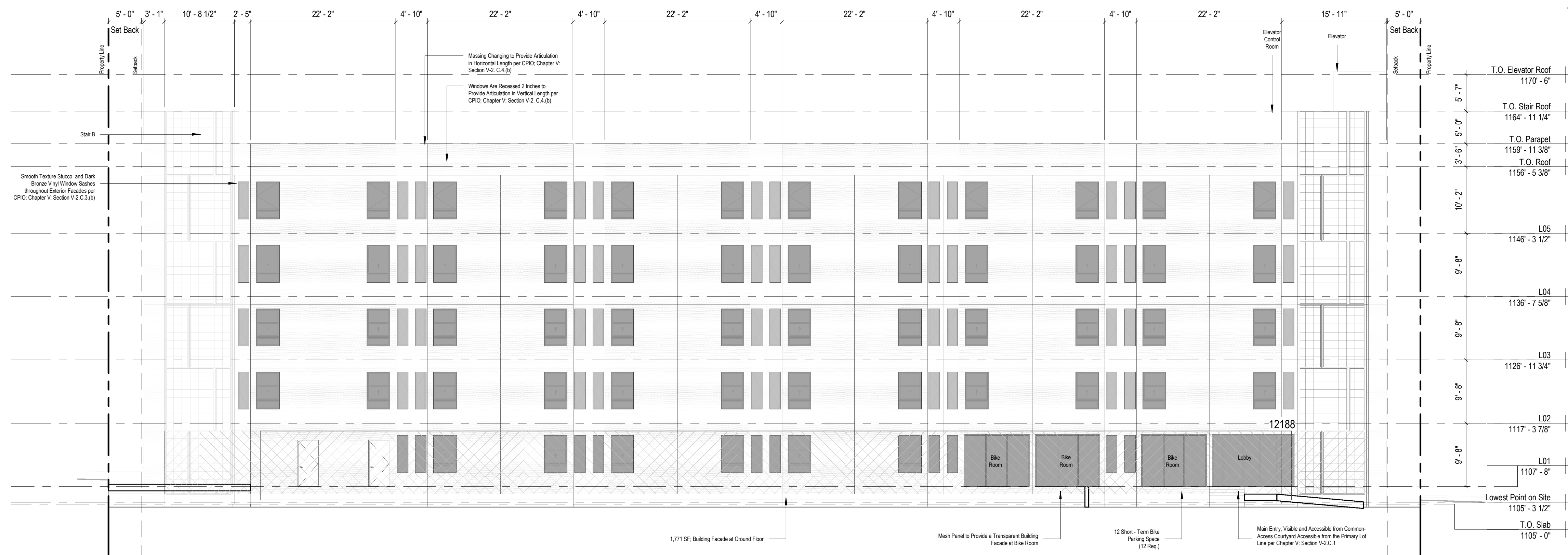
- Equipment & Utilities:**
 - Air conditioning units, antennas, communication equipemnt, mechanical and vents shall be screened from street view. Equipment located min. 5FT from a roof edge.
 - All exterior mechanical equipment, utilities, storage and trash bins shall be enclosed or screened with materials that are similar to those used in the primary structure.
 - Utilities, gas, electrical and water meter to place in side yard, set backs or in landscped areas that are out of the line-of-sight from crosswalks or sidewalk
 - Utilities on roof top shall be concealed by a parapet.

CPIO Glazing / Transparent Area Table
Total Glazing / Transparent Area of Windows/Doors
(The Primary Frontage of Any Building that has Non- Residential Uses on the Ground Floor Shall Consist of at least 50% Transparent Doors and Window)

	Primary Frontage Area	Clear Transparent Glazing Area	Glazing Percentage Proposed	Required Glazing Percentage
Building Facade (Ground Floor)	1,771 SF	551 SF	31%	50%

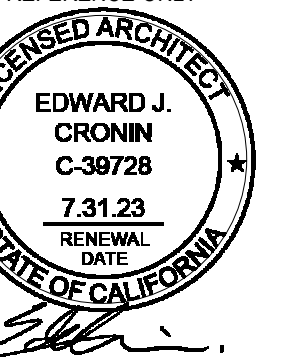
A 100% Affordable AB 2345 Density Bonus Project with requests for Off-Menu Incentives and Waivers.

- Reduction of Side Set Back to 5 ft from 8 ft (LAMC)
- 54.3% Reduction of Open Space Requirement (LAMC)
- 19% Reduction of CPIO Glazing Requirement (LAMC)
- Waiver of One (1) Parking Space for every 20 Dwelling Units or Guest Rooms.
- Waiver of the CPIO Ground - Floor Commercial Requirement for 75% of the Primary Frontage and Limitation of Dwelling Units on the Ground Level.



1 1" = 10'-0" South Elevation - CPIO Glazing

NOT FOR CONSTRUCTION
 REFERENCE ONLY



SET ISSUE:
 DATE: 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO: 202203
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

SHEET NO:

General Notes

CPIO Requirements.

Building Design. In addition to any regulations set forth by the underlying zone and the LAMC, Projects with new construction or additions shall comply with the following building design regulations:

- Per Table II - Ground Floor Commercial Use Limitation:**
 - Provide Ground Floor Commercial uses along a Primary Frontage (San Fernando Road) at a min. Depth of 25 FT or the entire depth of the building, for a min. of 75% of the length of the Primary Frontage, excluding any area used for pedestrian and vehicular circulation.
 - Units are limited to upper floors above non-residential uses, or behind non-residential uses that are at least 25 FT in depth.

2. Articulation. All exterior building walls shall provide a break in the plane, or a change in material, at least every 25 FT horizontal of building facadefacing a street, a building shall incorporate at least one item from three of the four following categories:

- Category 1: Columns, Plaster, posts, or tresses
- Category 2: Wall recessed, projections, or offset
- Category 3: Arcades, awnings, or canopies
- Category 4: Windows or Storefront Bay

3. Glazing: The Primary Frontage of any building that has non-residential uses on the ground floor shall consist of at least 50% transparent doors and windows.

4. Building Elevations & Facade: Building entrance and/or Windows shall includes at least one item from three of the four following categories:

- Category 1: Projections or recessed entrances and windows with a minimum four inches recessed
- Category 2: Decorative pedestrian lighting
- Category 3: Courtyards, entry ways, or landing porches
- Category 4: Planter Boxes, window sills, shutters, canopies, or awnings

Decorative screen wall, a trellis with climbing vines or plant materials, a landscped planting bed, or other continuous architectural element shall be installed on all blank walls facing a street or parking lot

5. Entrances & Pedestrian Circulation:

- A Prominent ground or first floor entry shall be created such as a lobby or atrium, along the primary frontage
- Pedestrian pathways leading directly from the public sidewalk to the primary building entrances, pedestrian amenity spaces, and parking areas shall be provided. A change in grade, materials, textures, colors, or landscaping to improve pedestrian visibility and safety shall be used.
- Ancillary lighting shall be provided along pedestrian and vehicular access ways. All outdoor lighting and direct lighting shall be shielded onto the pathway.

6. Parking and Vehiculat Circulation (Design):

- New surface parking shall be located at the rear or side of buildings and/ or provide a semi-subterranean or subterranean grade.
- Side streets or alleys are the primary point of vehicular access to off-street parking, loading areas, and trash enclosures, unless determined infeasible by the department of transportation
- Architectural openings, and use varied building materials, decorative screening, climbing vines, or green walls.
- On site surface parking which abuts a sidewalk and/ or street, a max. 42 inches in height hedge or landscaped wall or fence shall be installed within five feet of the entire length of the street

7. Open Space:

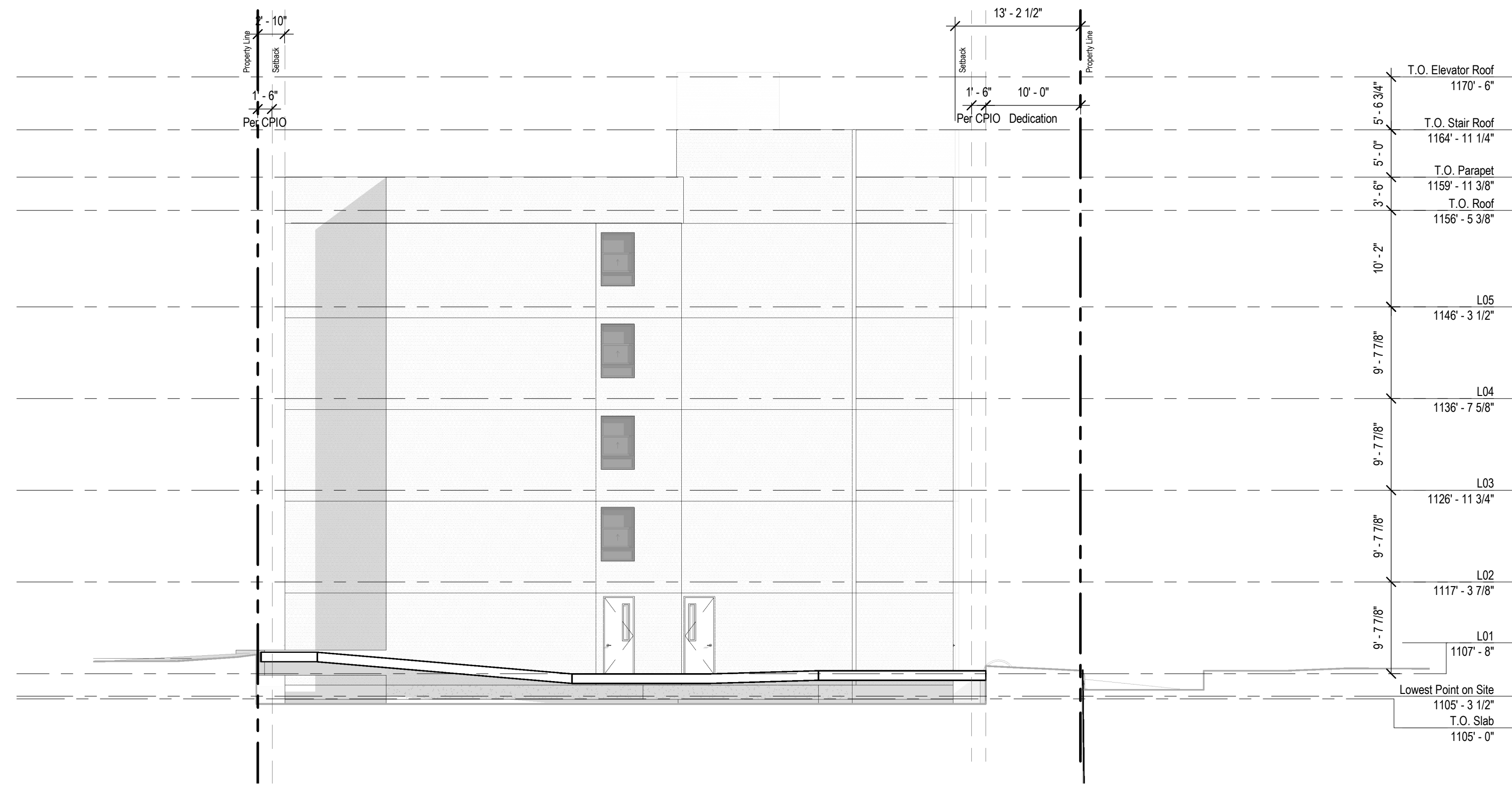
- For every 100 SF of non-residential floor area, one sq. ft. of open space shall be provided. The min. Open Space area is 200 SF, with max. of 5,000 sf of open space required for the project site.
- Open Space shall be visible and accessible from the Primary Frontage side walk and include pedestrian amenities, such as benches, landscaping, water features, and tables.

8. Yard, Parkways:

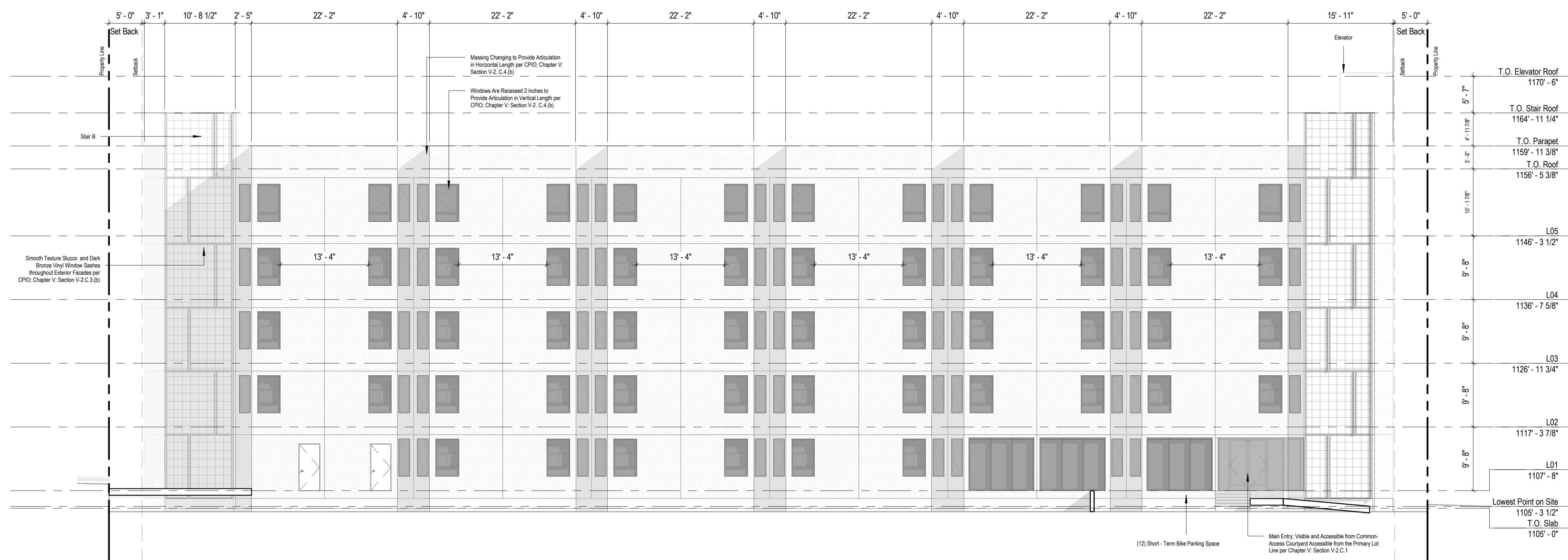
- Improved with landscaping that separates the curb from the sidewalk with native and / or drought tolerant species, low-growing vegetation, or permeable materials, and shade street trees. Trees shall be planted along parkways to the satisfaction of the Urban Forestry Division Bureau of Street Service.
- Native and /or drought tolerant plant species shall be used and installed with an automatic irrigation system or comparable watering system on all landscape areas.

9. Equipment & Utilities:

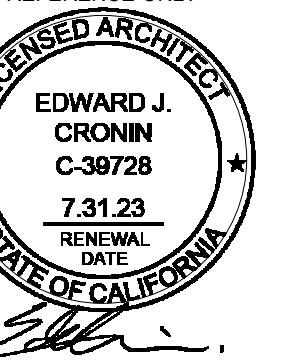
- Air conditioning units, antennas, communication equipemnt, mechanical and vents shall be screened from street view. Equipment located min. 5FT from a roof edge.
- All exterior mechanical equipment, utilities, storage and trash bins shall be enclosed or screened with materials that are similar to those used in the primary structure.
- Utilities, gas, electrical and water meter to place in side yard, set backs or in landscaped areas that are out of the line-of-sight from crosswalks or sidewalk
- Utilities on roof top shall be concealed by a parapet.



1 1" = 10'-0" West Elevation - CPIO Articulation



2 1" = 10'-0" South Elevation - CPIO Articulation



SET ISSUE:	
DATE:	ISSUE:
11.21.2022	PZA Submittal
12.15.2022	1st Plan check Submittal

PROJECT NO.:	202203
DRAWN BY:	Author
CHECKED BY:	Checker
SCALE:	As indicated

SHEET NO.:

General Notes

CPIO Requirements.

Building Design. In addition to any regulations set forth by the underlying zone and the LAMC, Projects with new construction or additions shall comply with the following building design regulations:

- Per Table II - Ground Floor Commercial Use Limitation:**
 - Provide Ground Floor Commercial uses along a Primary Frontage (San Fernando Road) at a min. Depth of 25 FT or the entire depth of the building, for a min. of 75% of the length of the Primary Frontage, excluding any area used for pedestrian and vehicular circulation.
 - Units are limited to upper floors above non-residential uses, or behind non-residential uses that are at least 25 FT in depth.

2. Articulation. All exterior building walls shall provide a break in the plane, or a change in material, at least every 25 FT horizontal of building facedefacing a street, a building shall incorporate at least one item from three of the four following categories:

- Category 1: Columns, Plaster, posts, or trusses
- Category 2: Wall recessed, projections, or offset
- Category 3: Arcades, awnings, or canopies
- Category 4: Windows or Storefront Bay

3. Glazing: The Primary Frontage of any building that has non-residential uses on the ground floor shall consist of at least 50% transparent doors and windows.

4. Building Elevations & Facade: Building entrance and/or Windows shall include at least one item from three of the four following categories:

- Category 1: Projections or recessed entrances and windows with a minimum four inches recessed
- Category 2: Decorative pedestrian lighting
- Category 3: Courtyards, entry ways, or landing porches
- Category 4: Planter Boxes, window sills, shutters, canopies, or awnings

Decorative screen wall, a trellis with climbing vines or plant materials, a landscaped planting bed, or other continuous architectural element shall be installed on all blank walls facing a street or parking lot

5. Entrances & Pedestrian Circulation:

- A Prominent ground or first floor entry shall be created such as a lobby or atrium, along the primary frontage
- Pedestrian pathways leading directly from the public sidewalk to the primary building entrances, pedestrian amenity spaces, and parking areas shall be provided. A change in grade, materials, textures, colors, or landscaping to improve pedestrian visibility and safety shall be used.
- Ancillary lighting shall be provided along pedestrian and vehicular access ways. All outdoor lighting and direct lighting shall be shielded onto the pathway.

6. Parking and Vehicular Circulation (Design):

- New surface parking shall be located at the rear or side of buildings and/ or provide a semi-subterranean or subterranean grade.
- Side streets or alleys are the primary point of vehicular access to off-street parking, loading areas, and trash enclosures, unless determined infeasible by the department of transportation
- Architectural openings, and use varied building materials, decorative screening, climbing vines, or green walls.
- On site surface parking which abuts a sidewalk and/ or street, a max. 42 inches in height hedge or landscaped wall or fence shall be installed within five feet of the entire length of the street

7. Open Space:

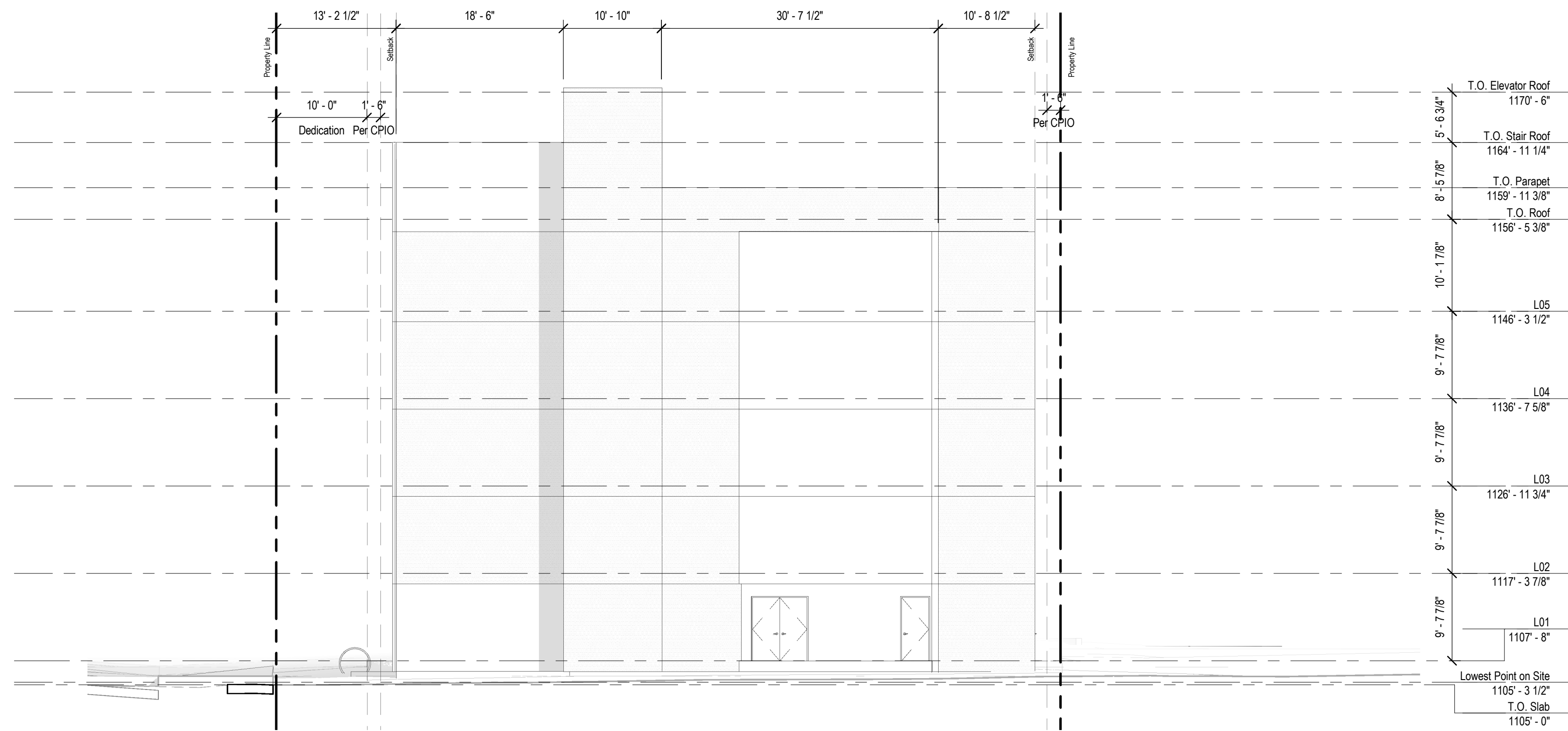
- For every 100 SF of non-residential floor area, one sq. ft. of open space shall be provided. The min. Open Space area is 200 SF, with max. of 5,000 sf of open space required for the project site.
- Open Space shall be visible and accessible from the Primary Frontage side walk and include pedestrian amenities, such as benches, landscaping, water features, and tables.

8. Yard, Parkways:

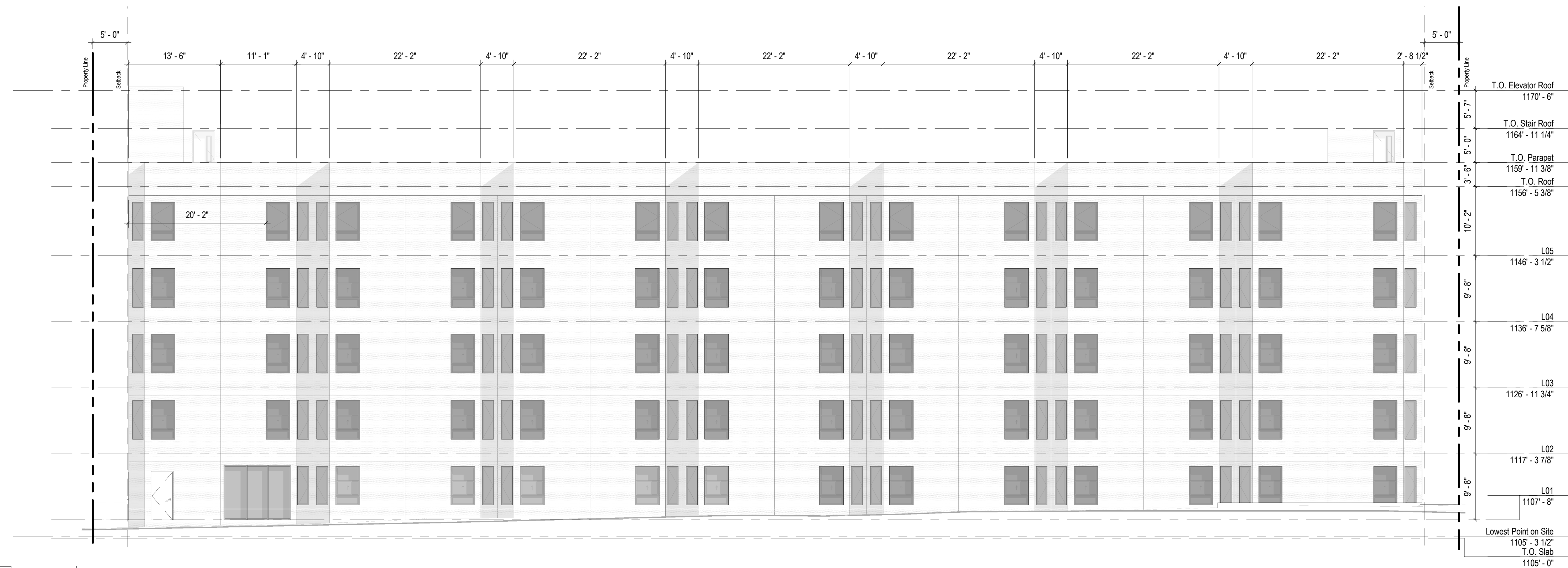
- Improved with landscaping that separates the curb from the sidewalk with native and / or drought tolerant species, low-growing vegetation, or permeable materials, and shade street trees. Trees shall be planted along parkways to the satisfaction of the Urban Forestry Division Bureau of Street Service.
- Native and / or drought tolerant plant species shall be used and installed with an automatic irrigation system or comparable watering system on all landscape areas.

9. Equipment & Utilities:

- Air conditioning units, antennas, communication equipment, mechanical and vents shall be screened from street view. Equipment located min. 5FT from a roof edge.
- All exterior mechanical equipment, utilities, storage and trash bins shall be enclosed or screened with materials that are similar to those used in the primary structure.
- Utilities, gas, electrical and water meter to place in side yard, set backs or in landscaped areas that are out of the line-of-sight from crosswalks or sidewalk
- Utilities on roof top shall be concealed by a parapet.

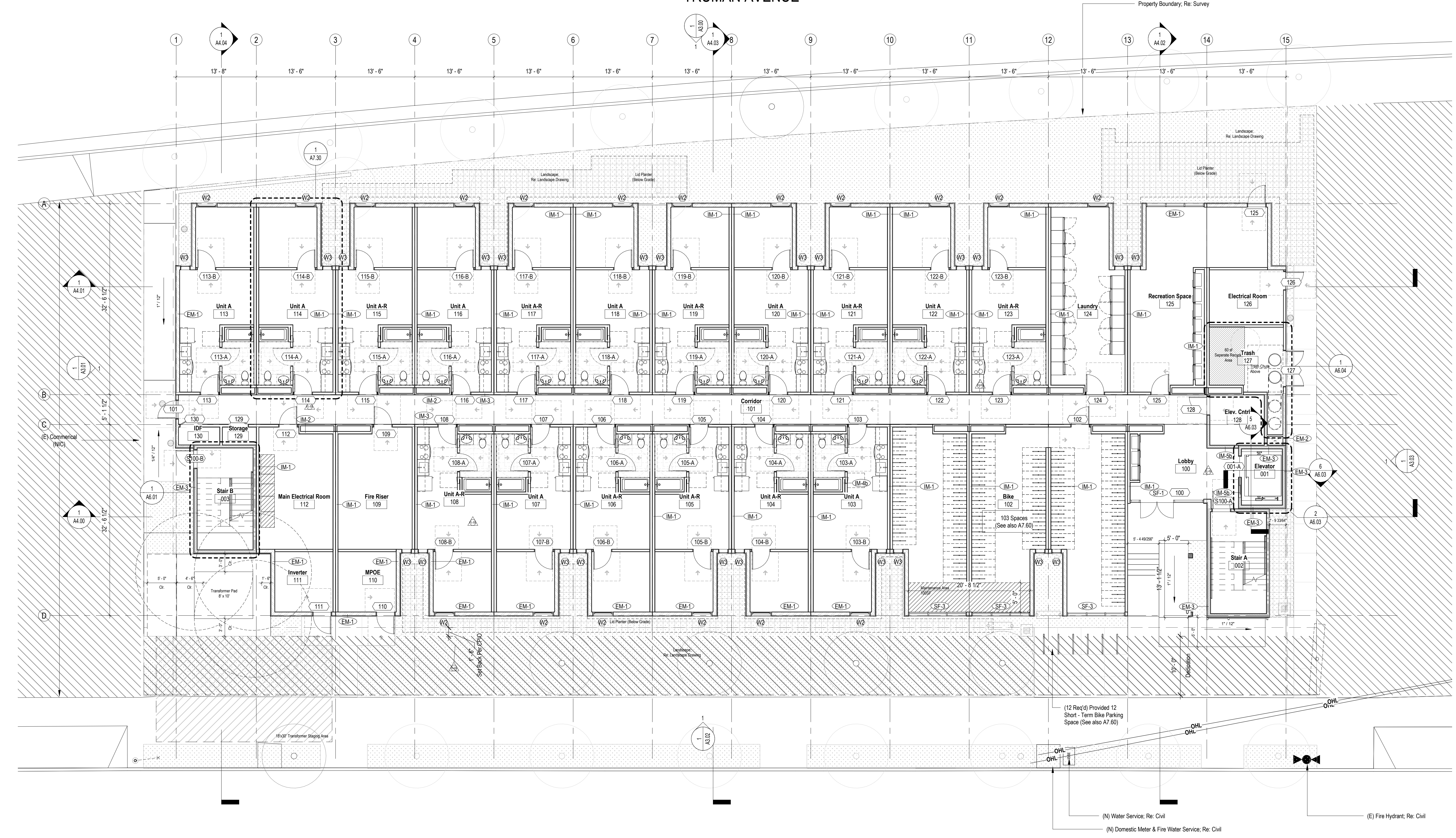


2 1" = 10'-0" East Elevation - CPIO Articulation



1 1" = 10'-0" North Elevation - Exterior Elevation

TRUMAN AVENUE



SAN FERNANDO ROAD

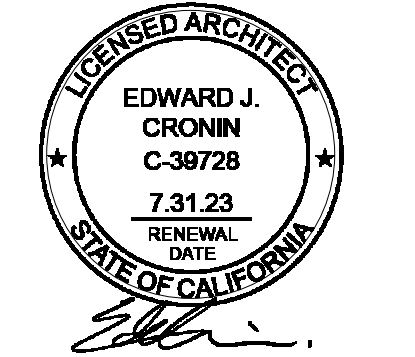
Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

- 0 Hour Wall
- 1 Hour Fire Barrier
- 3 Hour Fire Barrier
- 1 Hour Fire Partition
- 2 Hour Fire Barrier (Horizontal Ext. Demising Wall)
- 1 Hour Exterior Wall

General Notes

1. Contractor to notify Architect of any discrepancies prior to start of work.
2. Reference Spec for Product Information and Installation Requirements
3. Reference Spec for Accessible Parking Stall Requirements
4. Verify all dimensions with Structural Drawings and Specification regarding dimensional tolerances. Contract to notify Architect of any discrepancies.
5. Accessibility Requirements for Private Multifamily Housing is Subject to CBC 11A, FHA, and ADA. Ref GMD.03 for Additional Accessibility Requirements for All Covered Dwelling Units and Common Use Areas.
6. Covered Dwelling Units in Compliance with 1102A.2
7. Elevator Building Requires All Units, Including Ground-Floor Units, to be Accessible, Adaptable, and on an Accessible Route Complying with CBC 1104A and 1106A.

NOT FOR CONSTRUCTION
 REFERENCE ONLY

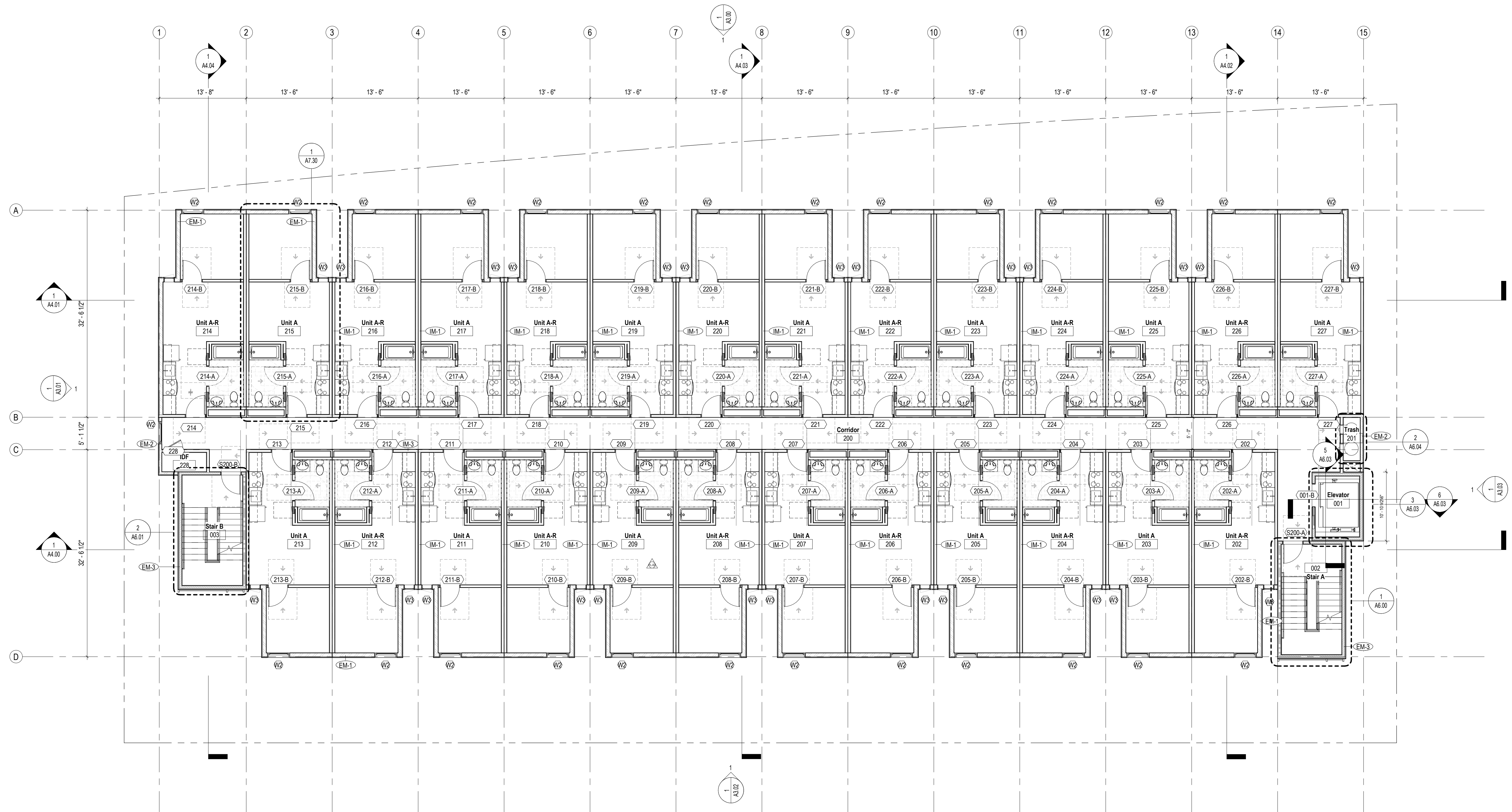


SET ISSUE: _____
 DATE: 11.21.2022 ISSUE: PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO: 202203
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

SHEET NO: _____





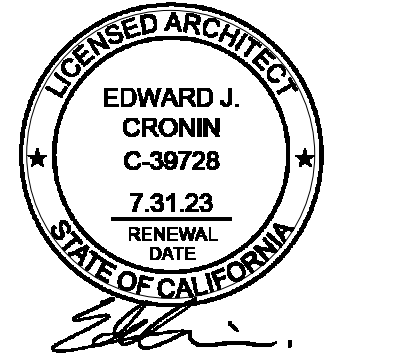
Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

- 0 Hour Wall
- 1 Hour Fire Barrier
- 3 Hour Fire Barrier
- 1 Hour Fire Partition
- 1 Hour Fire Partition
- 2 Hour Fire Barrier
- 2 Hour Fire Barrier (Horizontal Exit, Demising Wall)
- 1 Hour Exterior Wall

General Notes

1. Contractor to notify Architect of any discrepancies prior to start of work.
2. Reference Spec for Product Information and Installation Requirements
3. Reference Spec for Accessible Parking Stall Requirements
4. Verify all dimensions with Structural Drawings and Specification regarding dimensional tolerances. Contract to notify Architect of any discrepancies.
5. Accessibility Requirements for Private Multifamily Housing is Subject to CBC 11A, FHA, and ADA. Ref GND.03 for Additional Accessibility Requirements for All Covered Dwelling Units and Common Use Areas.
6. Covered Dwelling Units in Compliance with 1102A.2.
7. Elevator Building Requires All Units, Including Ground-Floor Units, to be Accessible, Adaptable, and on an Accessible Route Complying with CBC 1104A and 1106A.

NOT FOR CONSTRUCTION
 REFERENCE ONLY

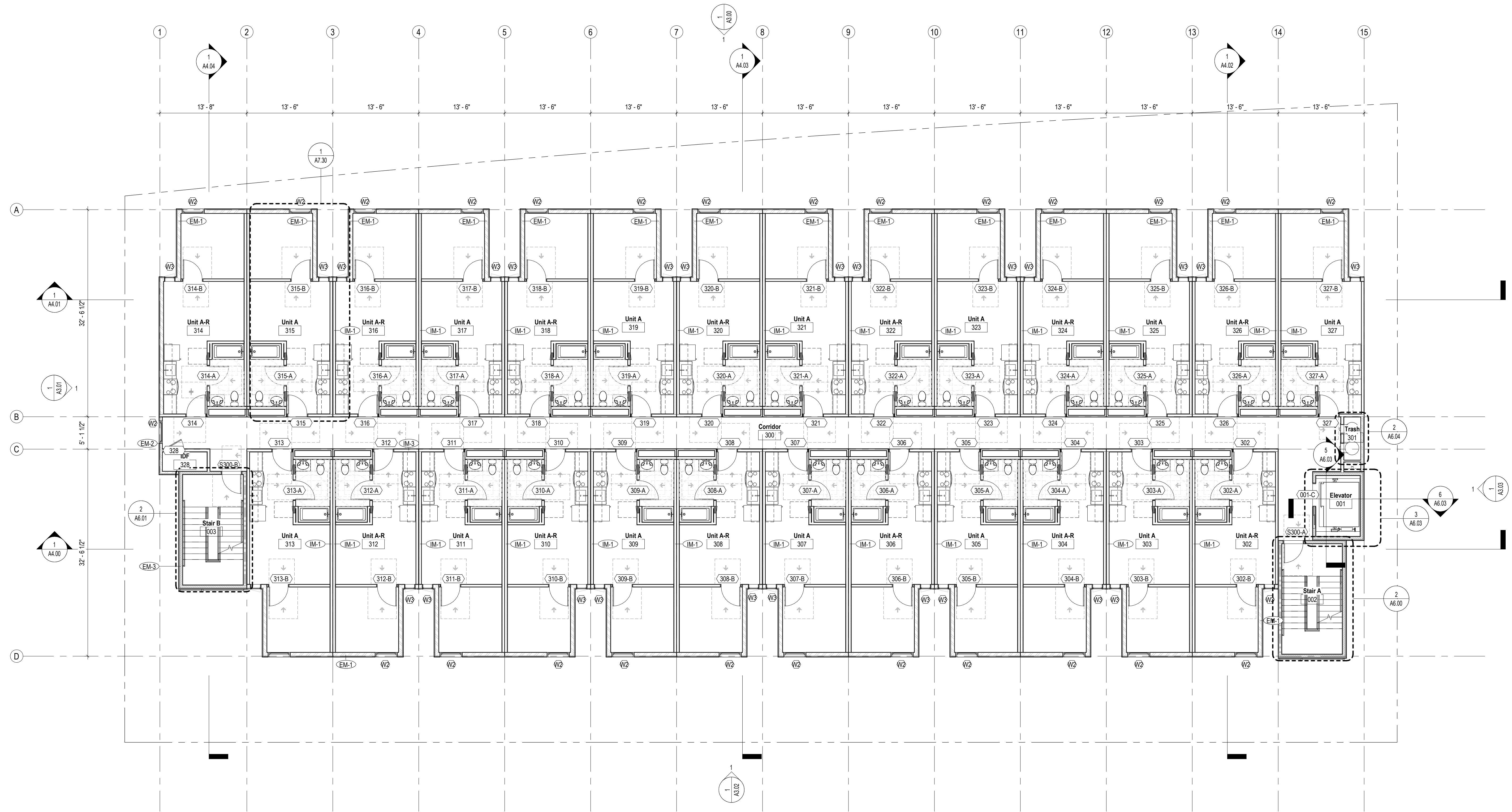


SET ISSUE :
 DATE : ISSUE :
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
 DRAWN BY : Author
 CHECKED BY : Checker
 SCALE : As indicated

SHEET NO :





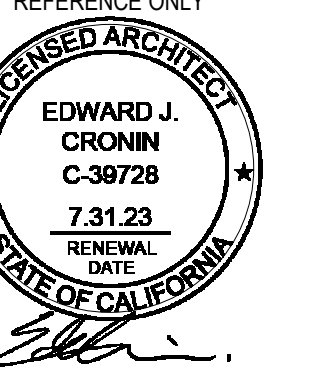
Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

- 0 Hour Wall
- 1 Hour Fire Barrier
- 3 Hour Fire Barrier
- 1 Hour Fire Partition
- 1 Hour Fire Partition
- 2 Hour Fire Barrier
- 2 Hour Fire Barrier (Horizontal Exit, Demising Wall)
- 1 Hour Exterior Wall

General Notes

1. Contractor to notify Architect of any discrepancies prior to start of work.
2. Reference Spec for Product Information and Installation Requirements
3. Reference Spec for Accessible Parking Stall Requirements
4. Verify all dimensions with Structural Drawings and Specification regarding dimensional tolerances. Contract to notify Architect of any discrepancies.
5. Accessibility Requirements for Private Multifamily Housing is Subject to CBC 11A, FHA, and ADA. Ref GND.03 for Additional Accessibility Requirements for All Covered Dwelling Units and Common Use Areas. Covered Dwelling Units in Compliance with 1102A.2.
6. Elevator Building Requires All Units, Including Ground-Floor Units, to be Accessible, Adaptable, and on an Accessible Route Complying with CBC 1104A and 1106A.

NOT FOR CONSTRUCTION
 REFERENCE ONLY

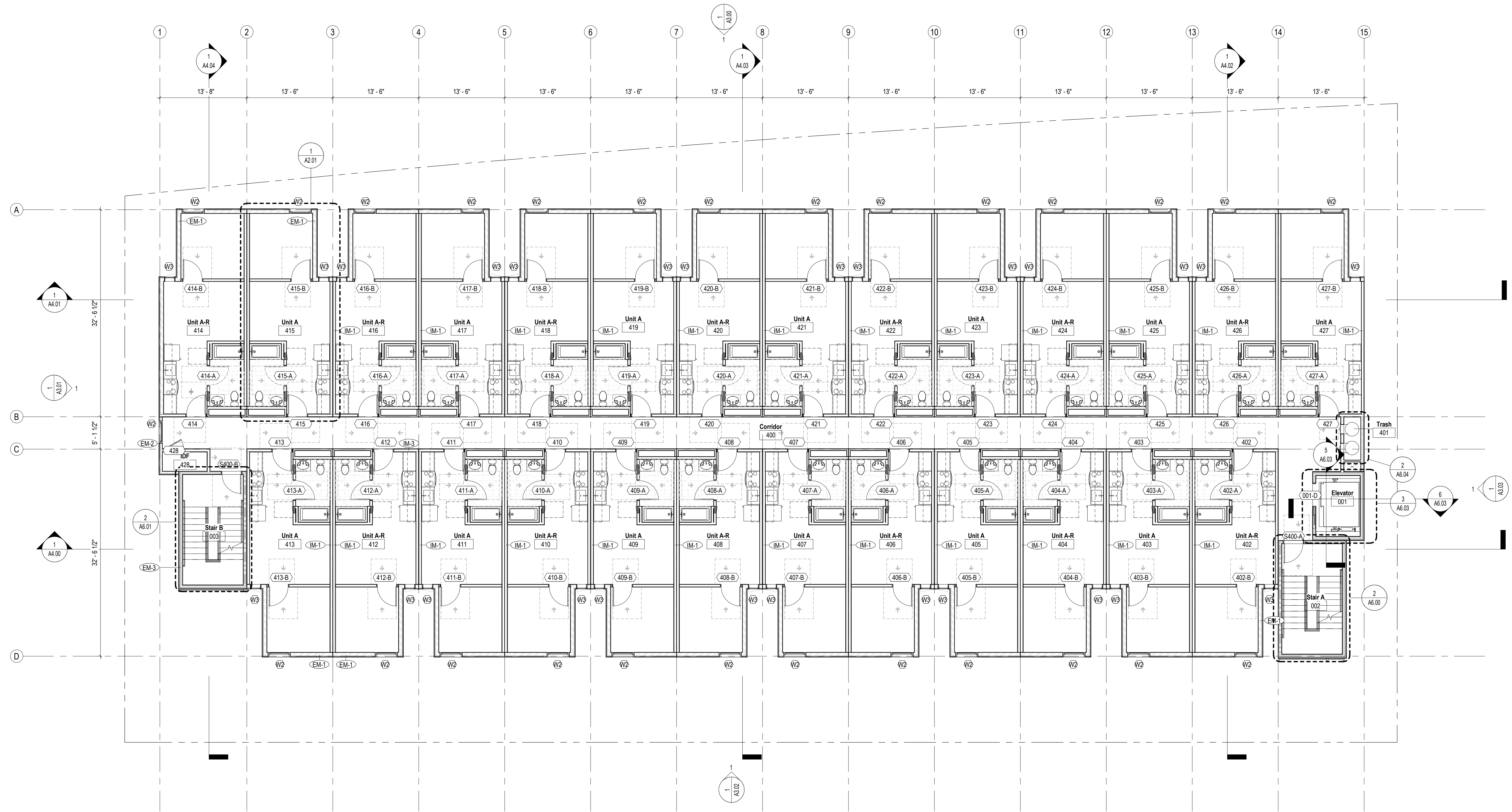


SET ISSUE:
 DATE: ISSUE:
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO: 202203
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

SHEET NO:





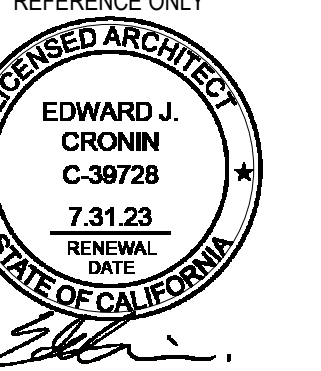
Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

- 0 Hour Wall
- 1 Hour Fire Barrier
- 3 Hour Fire Barrier
- 1 Hour Fire Partition
- 1 Hour Fire Partition
- 2 Hour Fire Barrier
- 2 Hour Fire Barrier (Horizontal Exit, Demising Wall)
- 1 Hour Exterior Wall

General Notes

1. Contractor to notify Architect of any discrepancies prior to start of work.
2. Reference Spec for Product Information and Installation Requirements
3. Reference Spec for Accessible Parking Stall Requirements
4. Verify all dimensions with Structural Drawings and Specification regarding dimensional tolerances. Contract to notify Architect of any discrepancies.
5. Accessibility Requirements for Private Multifamily Housing is Subject to CBC 11A, FHA, and ADA. Ref GND.03 for Additional Accessibility Requirements for All Covered Dwelling Units and Common Use Areas. Covered Dwelling Units in Compliance with 1102A.2.
6. Elevator Building Requires All Units, Including Ground-Floor Units, to be Accessible, Adaptable, and on an Accessible Route Complying with CBC 1104A and 1106A.

NOT FOR CONSTRUCTION
 REFERENCE ONLY

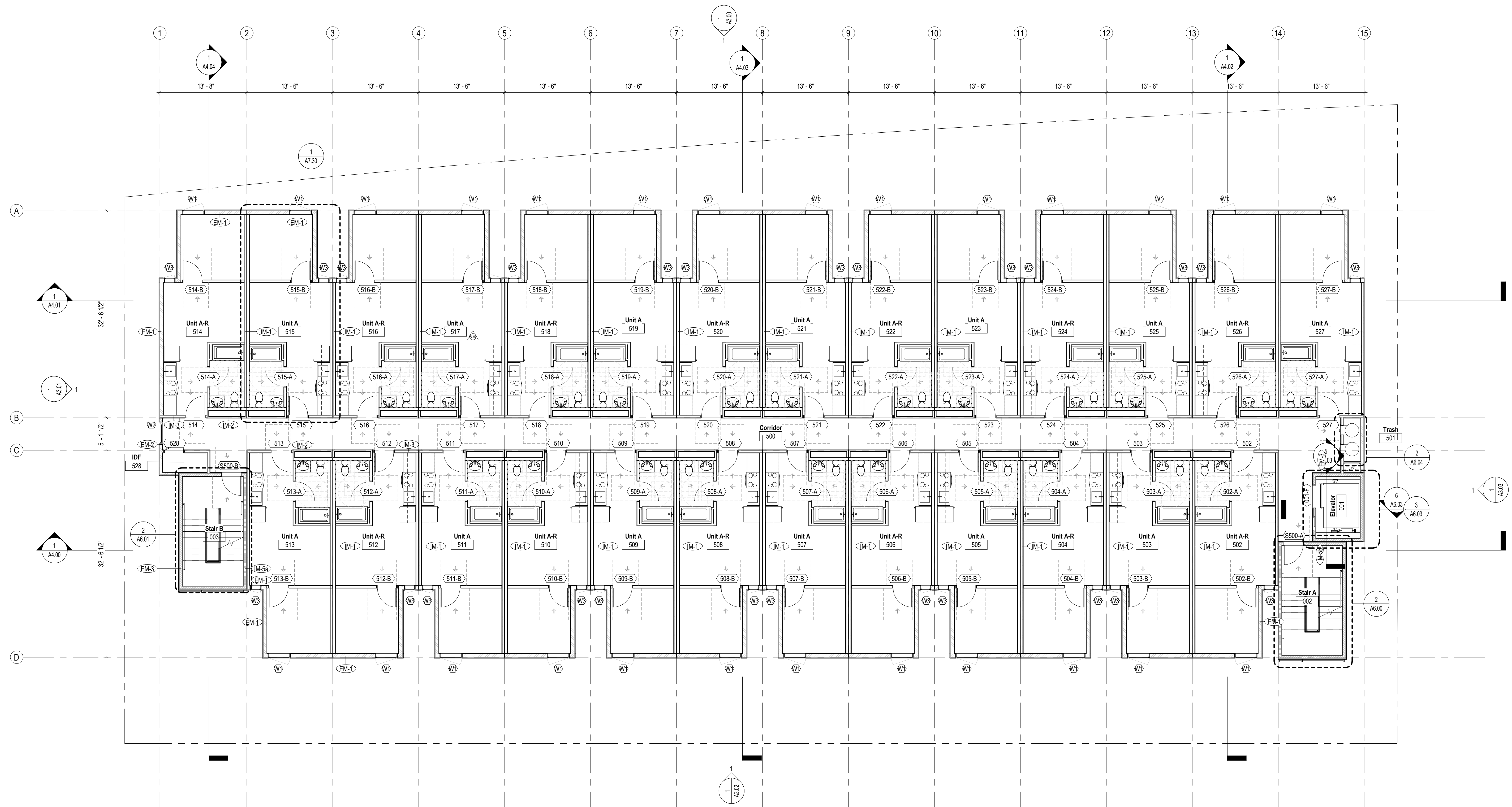


SET ISSUE: _____
 DATE: _____ ISSUE: _____
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO: 202203
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

SHEET NO: _____





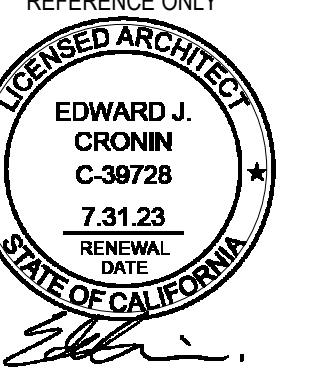
Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

- 0 Hour Wall
- 1 Hour Fire Barrier
- 3 Hour Fire Barrier
- 1 Hour Fire Partition
- 1 Hour Fire Partition
- 2 Hour Fire Barrier
- 2 Hour Fire Barrier (Horizontal Exit, Demising Wall)
- 1 Hour Exterior Wall

General Notes

1. Contractor to notify Architect of any discrepancies prior to start of work.
2. Reference Spec for Product Information and Installation Requirements
3. Reference Spec for Accessible Parking Stall Requirements
4. Verify all dimensions with Structural Drawings and Specification regarding dimensional tolerances. Contract to notify Architect of any discrepancies.
5. Accessibility Requirements for Private Multifamily Housing is Subject to CBC 11A, FHA, and ADA. Ref GND.03 for Additional Accessibility Requirements for All Covered Dwelling Units and Common Use Areas.
6. Covered Dwelling Units in Compliance with 1102A.2.
7. Elevator Building Requires All Units, Including Ground-Floor Units, to be Accessible, Adaptable, and on an Accessible Route Complying with CBC 1104A and 1106A.

NOT FOR CONSTRUCTION
 REFERENCE ONLY

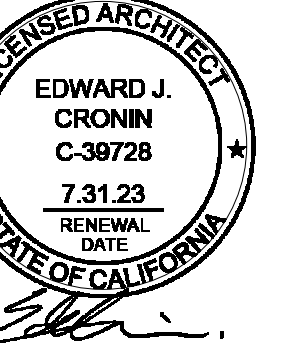


SET ISSUE:
 DATE: ISSUE:
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO: 202203
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

SHEET NO:

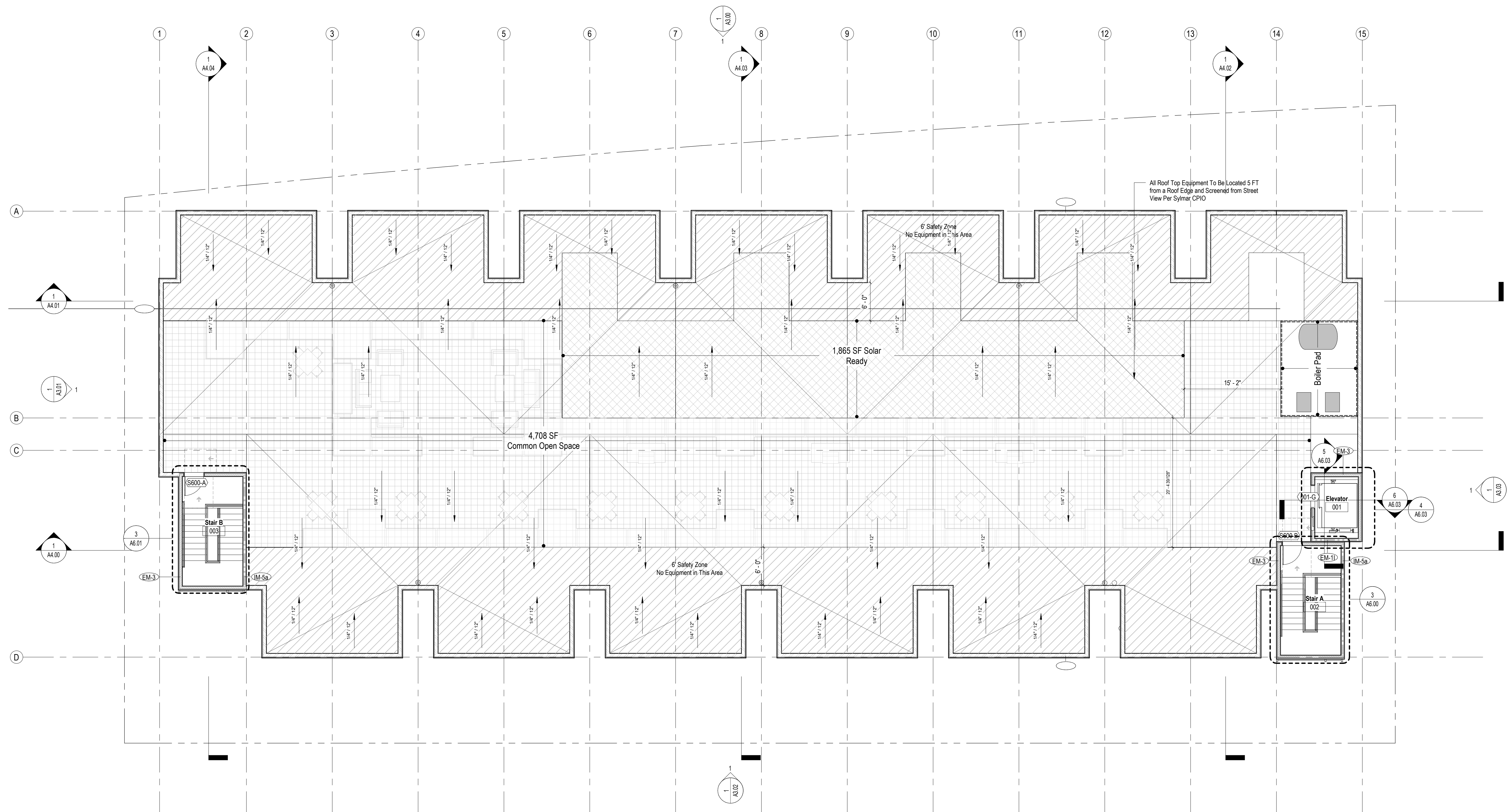
NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE:
DATE: ISSUE:
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO: 202203
DRAWN BY: Author
CHECKED BY: Checker
SCALE: As indicated

SHEET NO:



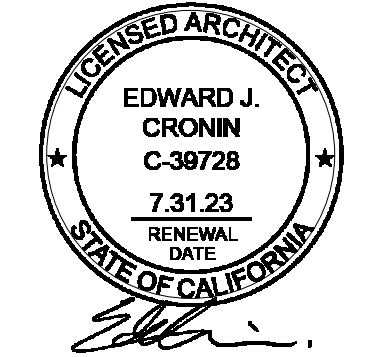
Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

- 0 Hour Wall
- 1 Hour Fire Barrier
- 3 Hour Fire Barrier
- 1 Hour Fire Partition
- 2 Hour Fire Barrier
- 2 Hour Fire Barrier (Horizontal Exit, Demising Wall)
- 1 Hour Exterior Wall

General Notes

1. Contractor to notify Architect of any discrepancies prior to start of work.
2. Reference Spec for Product Information and Installation Requirements
3. Reference Spec for Accessible Parking Stall Requirements
4. Verify all dimensions with Structural Drawings and Specification regarding dimensional tolerances. Contract to notify Architect of any discrepancies.
5. Accessibility Requirements for Private Multifamily Housing is Subject to CBC 11A, FHA, and ADA. Ref GND.03 for Additional Accessibility Requirements for All Covered Dwelling Units and Common Use Areas.
6. Covered Dwelling Units in Compliance with 1102A.2.
7. Elevator Building Requires All Units, Including Ground-Floor Units, to be Accessible, Adaptable, and on an Accessible Route Complying with CBC 1104A and 1106A.

NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE :
DATE : ISSUE :
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE : As indicated

SHEET NO :

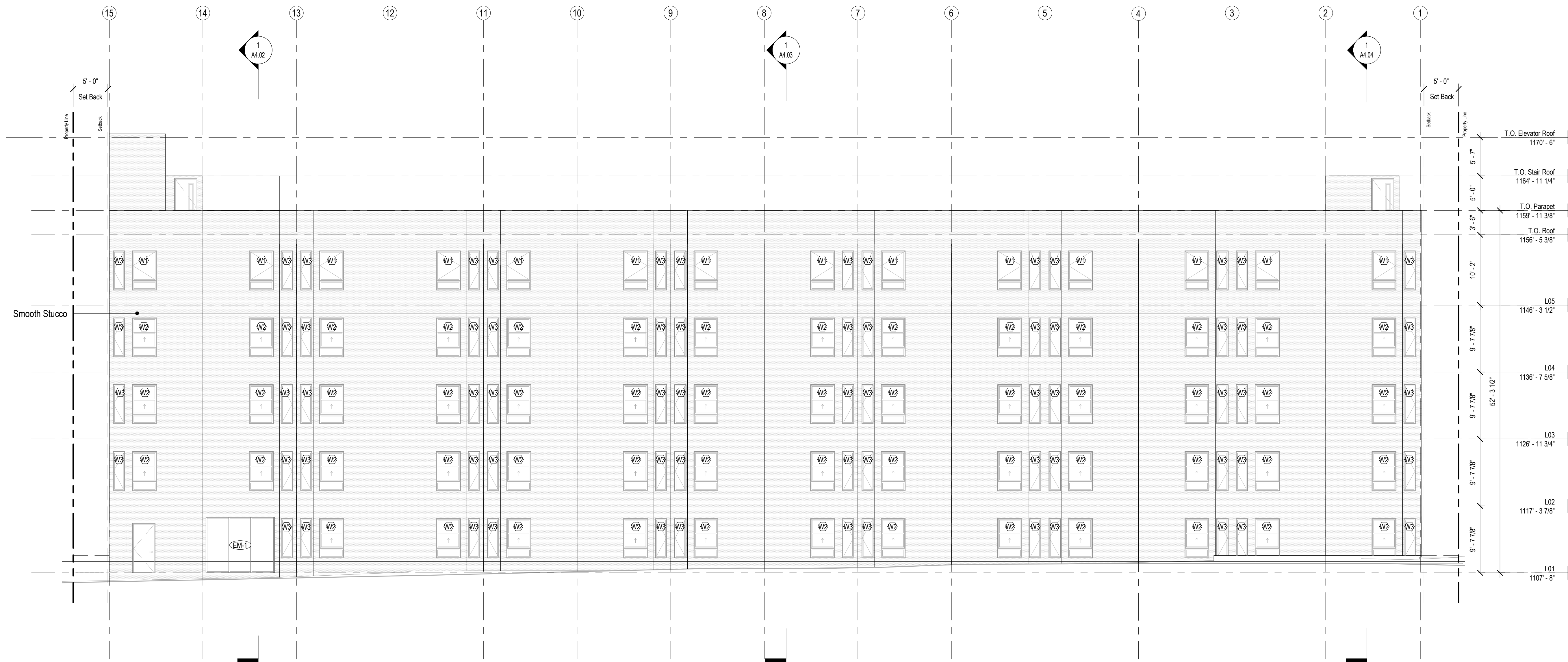
A3.00

Legend

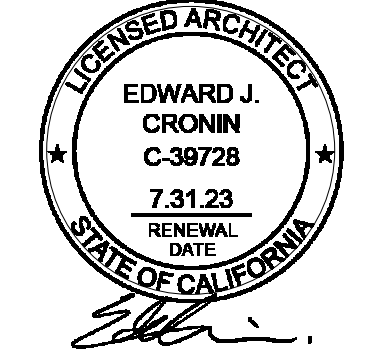
- Painted Stucco
- Vertical Hardie Siding
- Concrete
- Wire Mesh Panel
- Sheet Metal Reveal
- Ptd. Concrete

General Notes

1. New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.



NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE:
DATE: ISSUE:
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO: 202203
DRAWN BY: Author
CHECKED BY: Checker
SCALE: As indicated

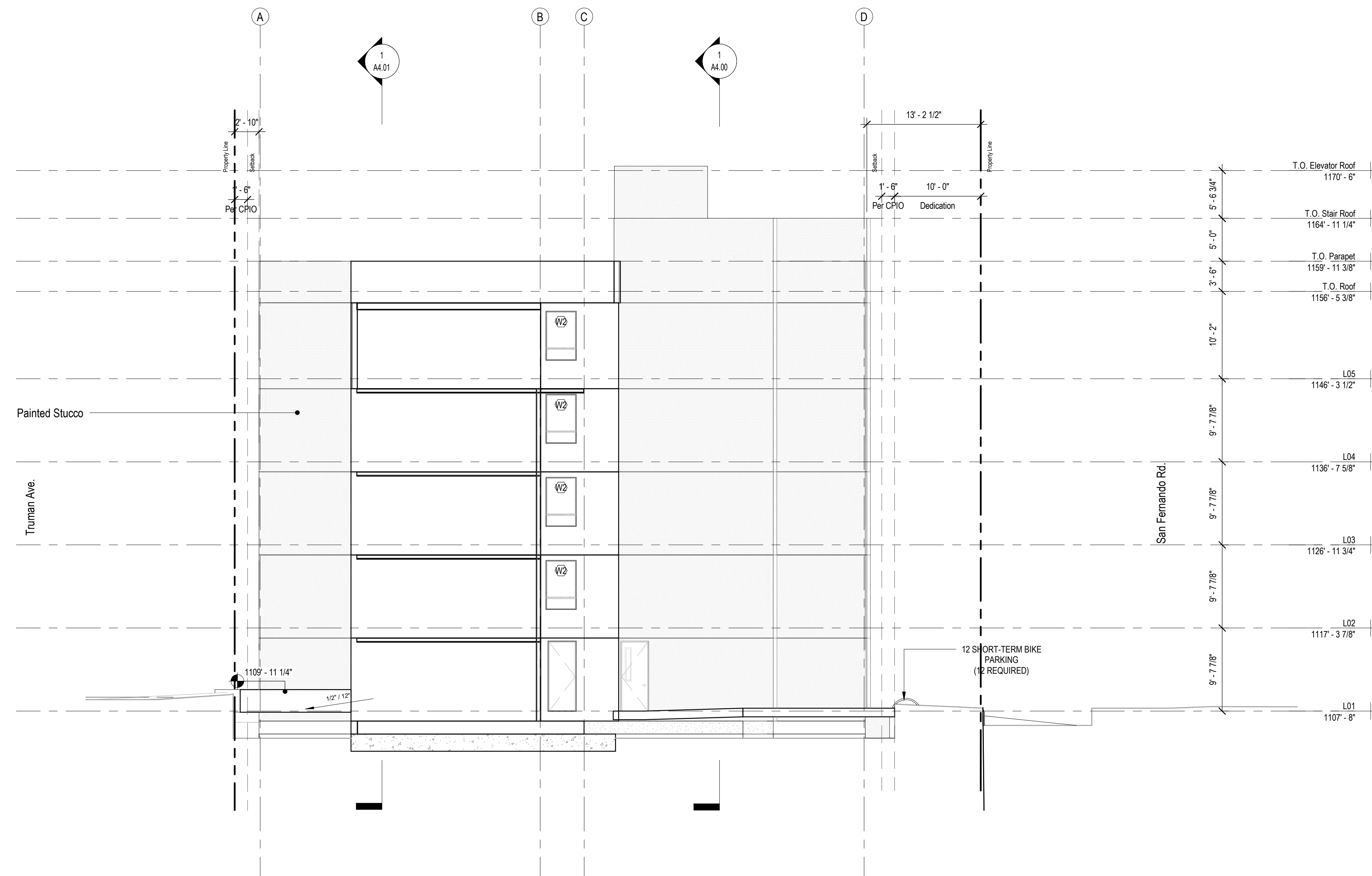
SHEET NO:

Legend

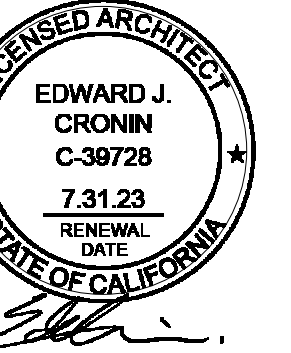
- Painted Stucco
- Vertical Hardie Siding
- Concrete
- Wire Mesh Panel
- Sheet Metal Reveal
- Ptd. Concrete

General Notes

1. New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.



NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE :
DATE : ISSUE :
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE : As indicated

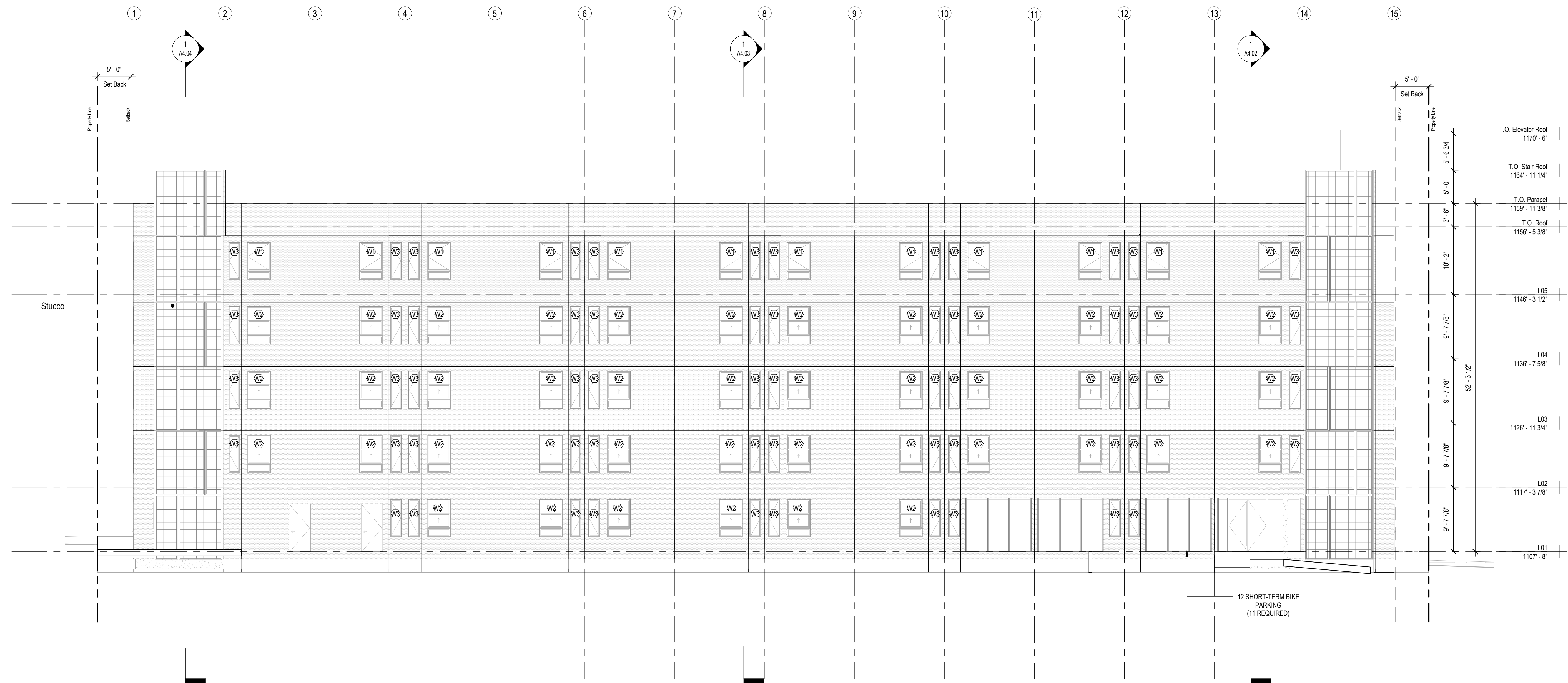
SHEET NO :

Legend

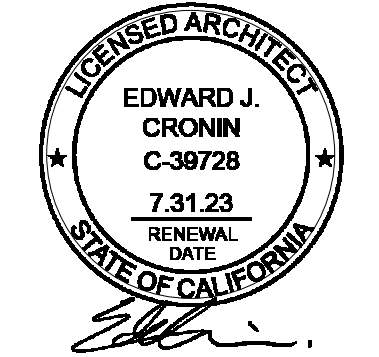
- Painted Stucco
- Vertical Hardie Siding
- Concrete
- Wire Mesh Panel
- Sheet Metal Reveal
- Ptd. Concrete

General Notes

1. New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.



NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE :
DATE : ISSUE :
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE : As indicated

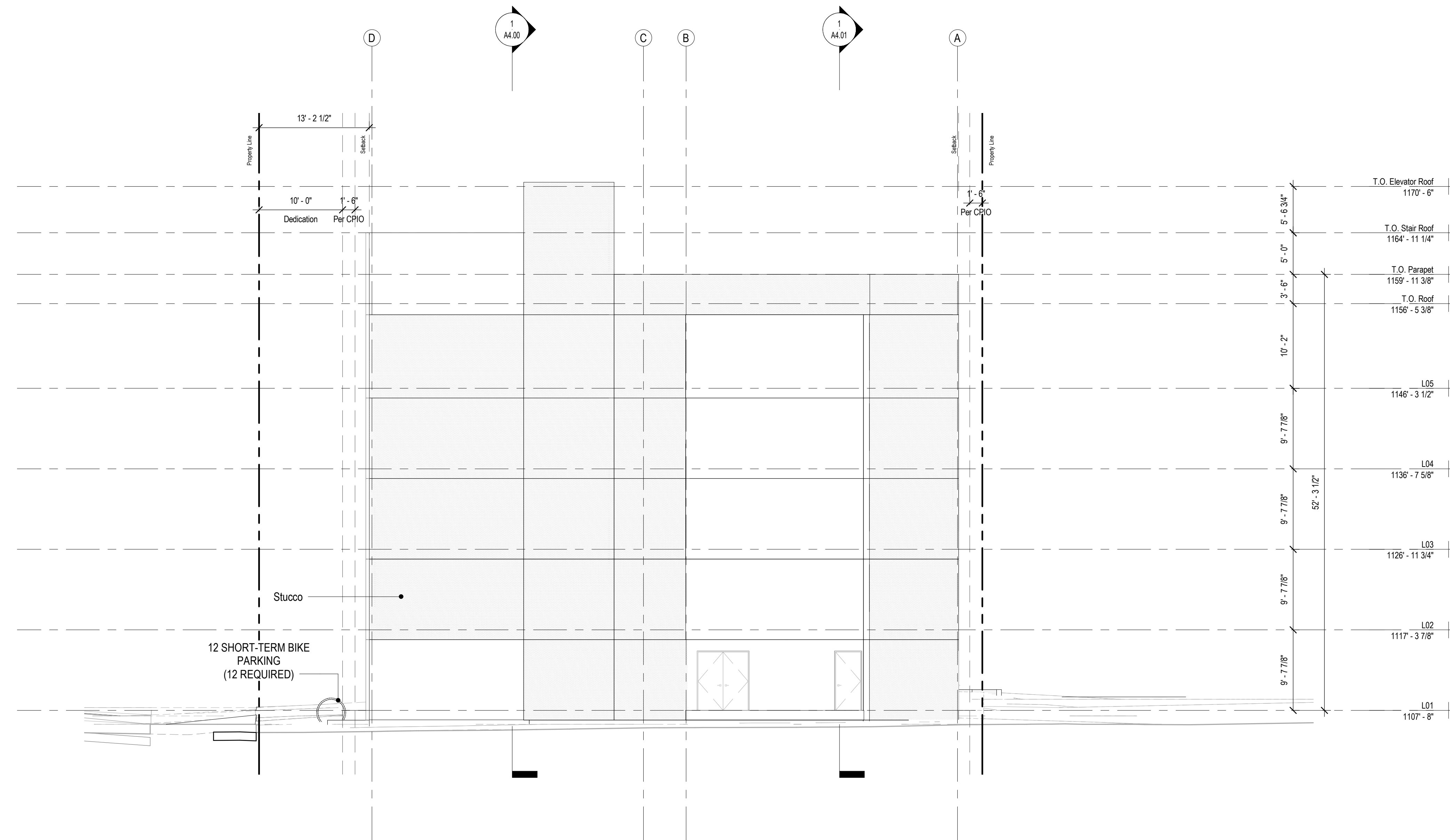
SHEET NO :

Legend

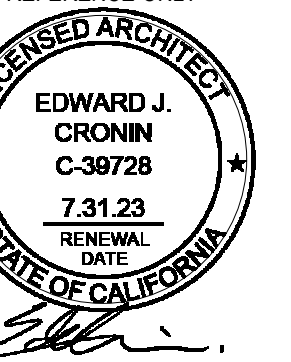
- Painted Stucco
- Vertical Hardie Siding
- Concrete
- Wire Mesh Panel
- Sheet Metal Reveal
- Ptd. Concrete

General Notes

1. New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.



NOT FOR CONSTRUCTION
 REFERENCE ONLY



SET ISSUE:
 DATE: ISSUE:
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO: 202203
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

SHEET NO:

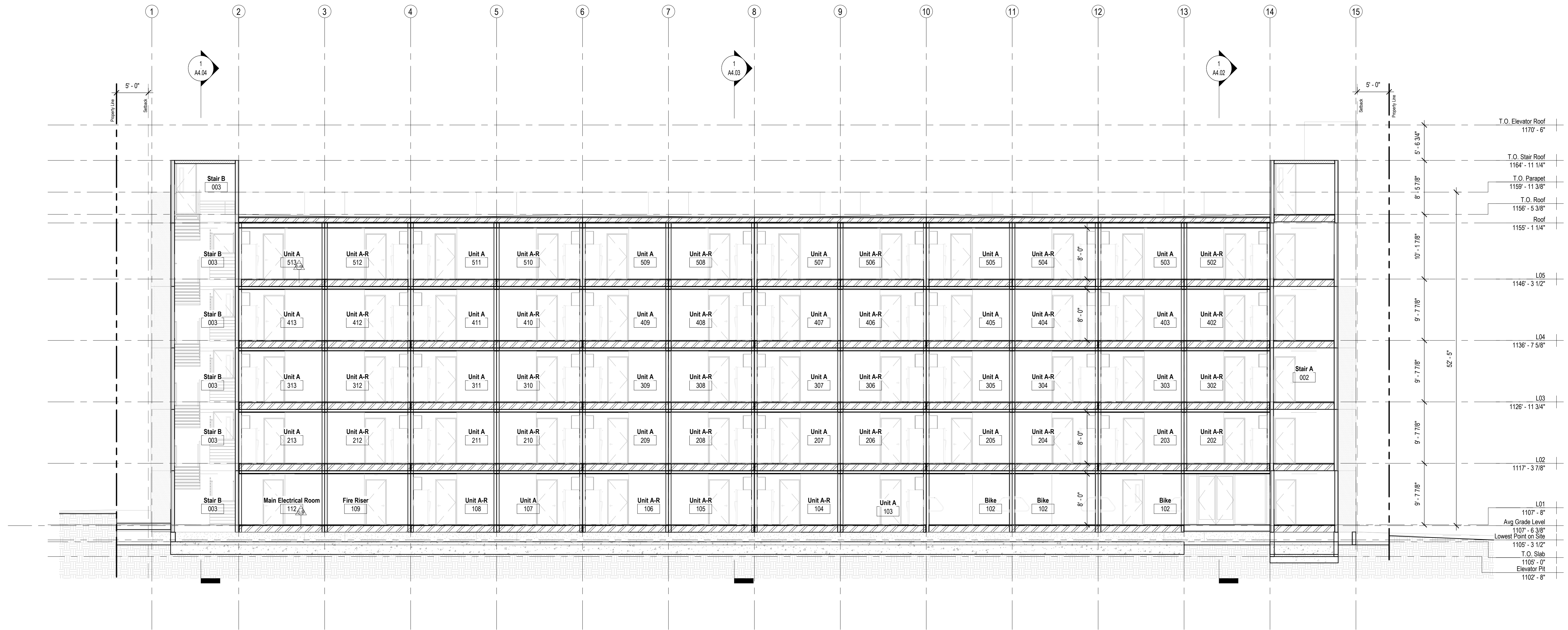
A4.00

Legend

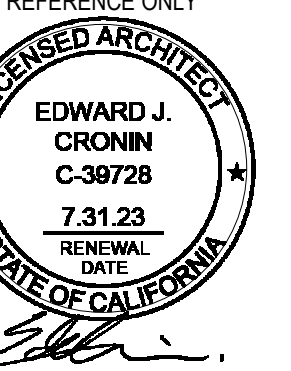
- Painted Stucco
- Vertical Hardie Siding
- Concrete
- Wire Mesh Panel
- Sheet Metal Reveal
- Ptd. Concrete

General Notes

1. New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.



NOT FOR CONSTRUCTION
 REFERENCE ONLY



SET ISSUE :
 DATE : ISSUE :
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
 DRAWN BY : Author
 CHECKED BY : Checker
 SCALE : As indicated

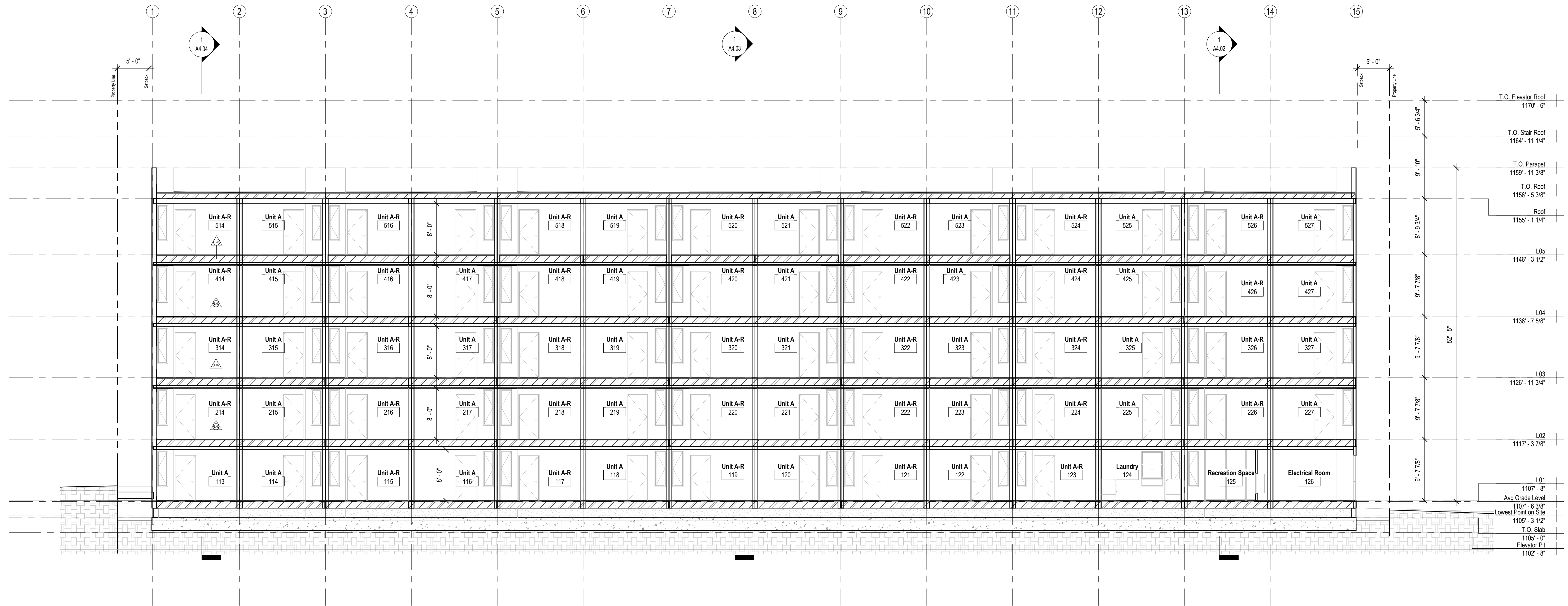
SHEET NO :

Legend

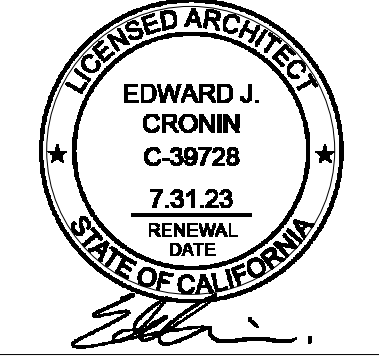
- Painted Stucco
- Vertical Hardie Siding
- Concrete
- Wire Mesh Panel
- Sheet Metal Reveal
- Ptd. Concrete

General Notes

1. New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.



NOT FOR CONSTRUCTION
 REFERENCE ONLY



SET ISSUE :
 DATE : ISSUE :
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
 DRAWN BY : Author
 CHECKED BY : Checker
 SCALE : As indicated

SHEET NO :

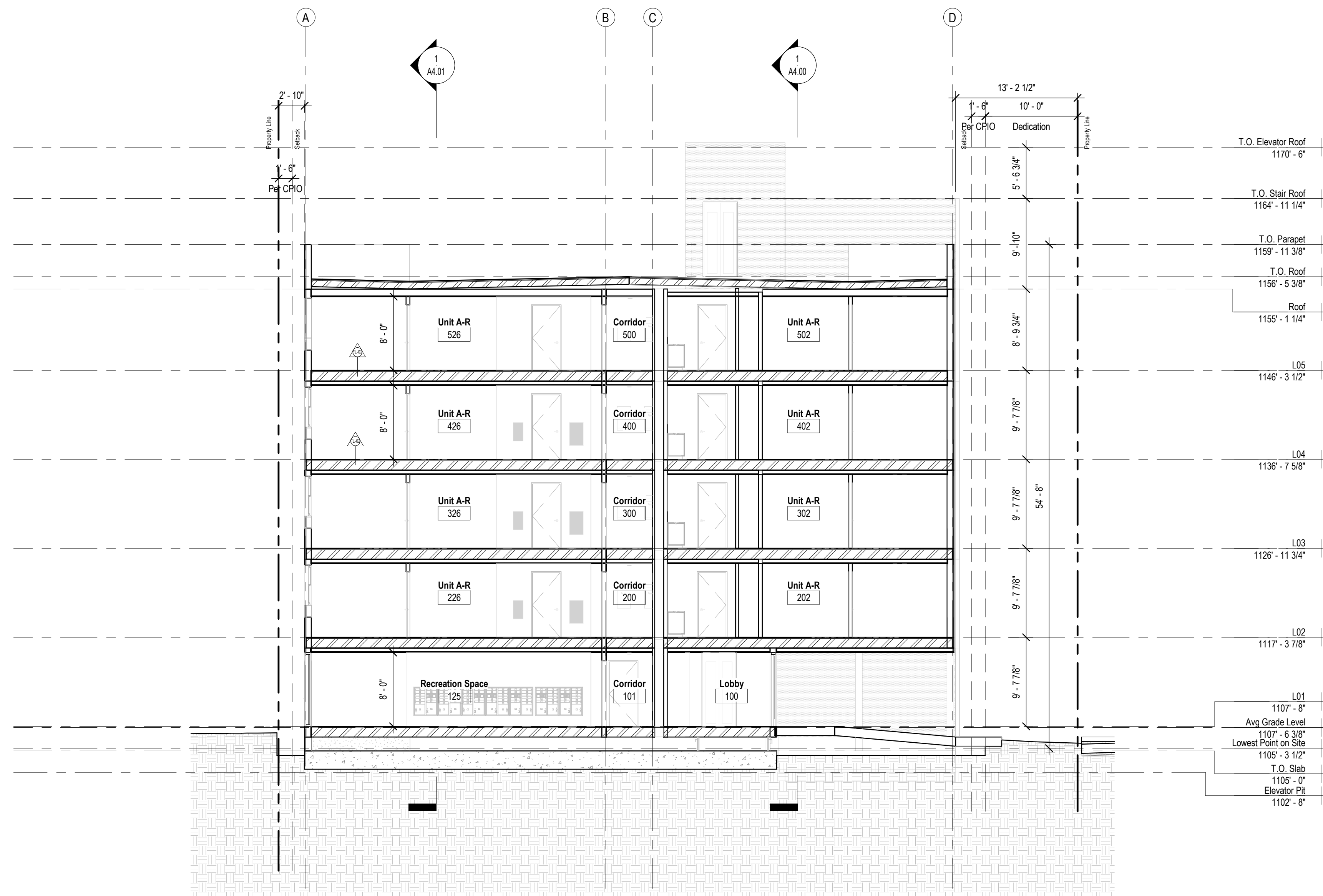
A4.02

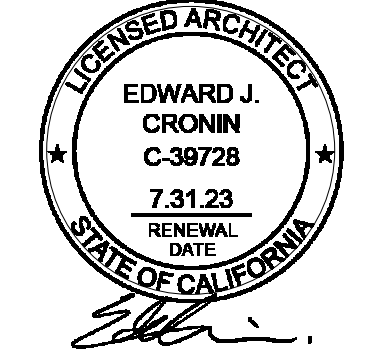
Legend

- Painted Stucco
- Vertical Hardie Siding
- Concrete
- Wire Mesh Panel
- Sheet Metal Reveal
- Ptd. Concrete

General Notes

1. New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.





SET ISSUE :	
DATE :	ISSUE :
11.21.2022	PZA Submittal
12.15.2022	1st Plan check Submittal

PROJECT NO :	202203
DRAWN BY :	Author
CHECKED BY :	Checker
SCALE :	As indicated

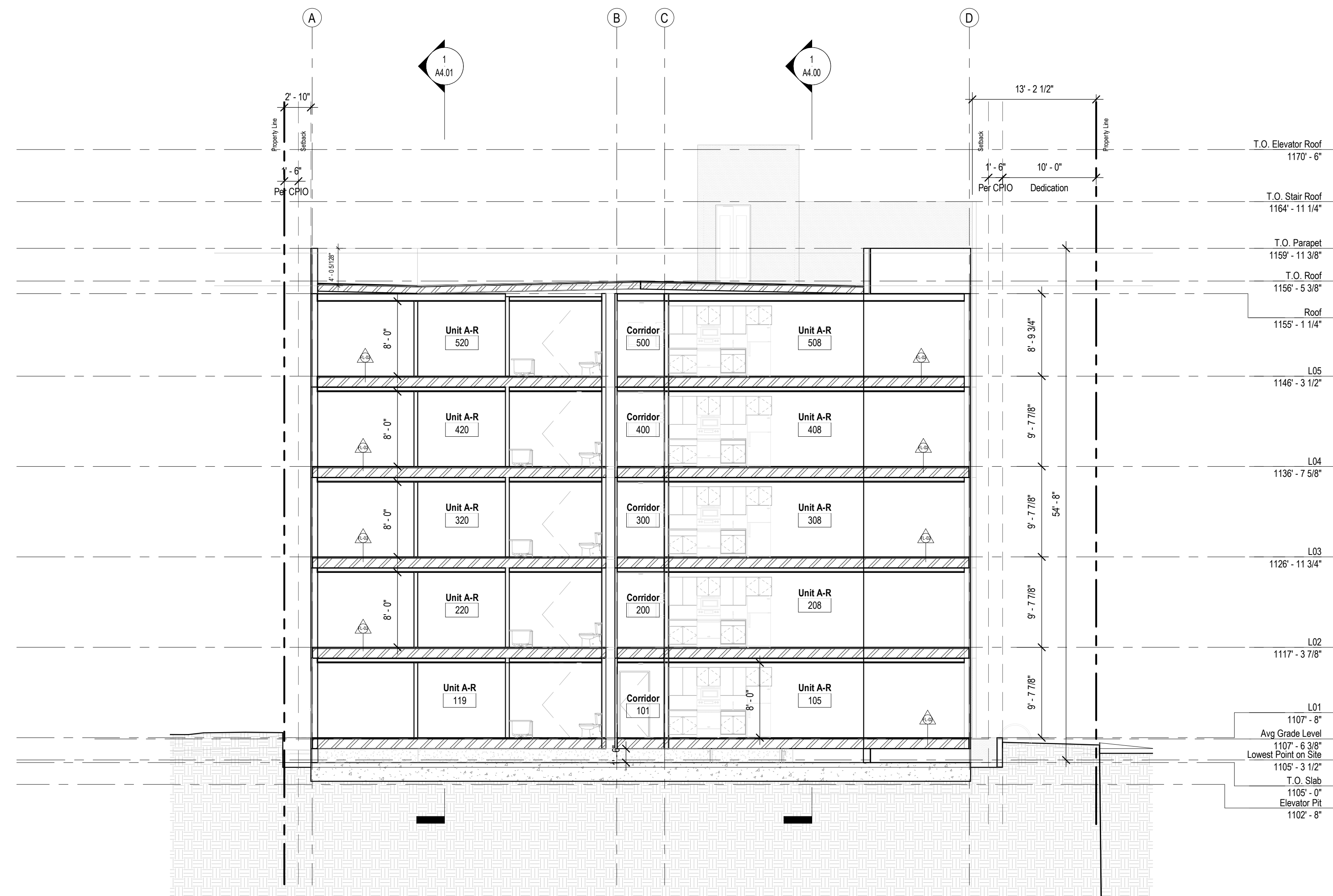
SHEET NO :

Legend

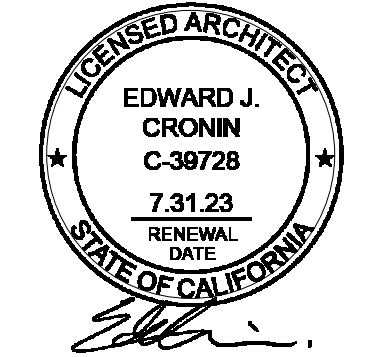
- Painted Stucco
- Vertical Hardie Siding
- Concrete
- Wire Mesh Panel
- Sheet Metal Reveal
- Ptd. Concrete

General Notes

- New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.



NOT FOR CONSTRUCTION
REFERENCE ONLY



SET ISSUE :
DATE : ISSUE :
11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
DRAWN BY : Author
CHECKED BY : Checker
SCALE : As indicated

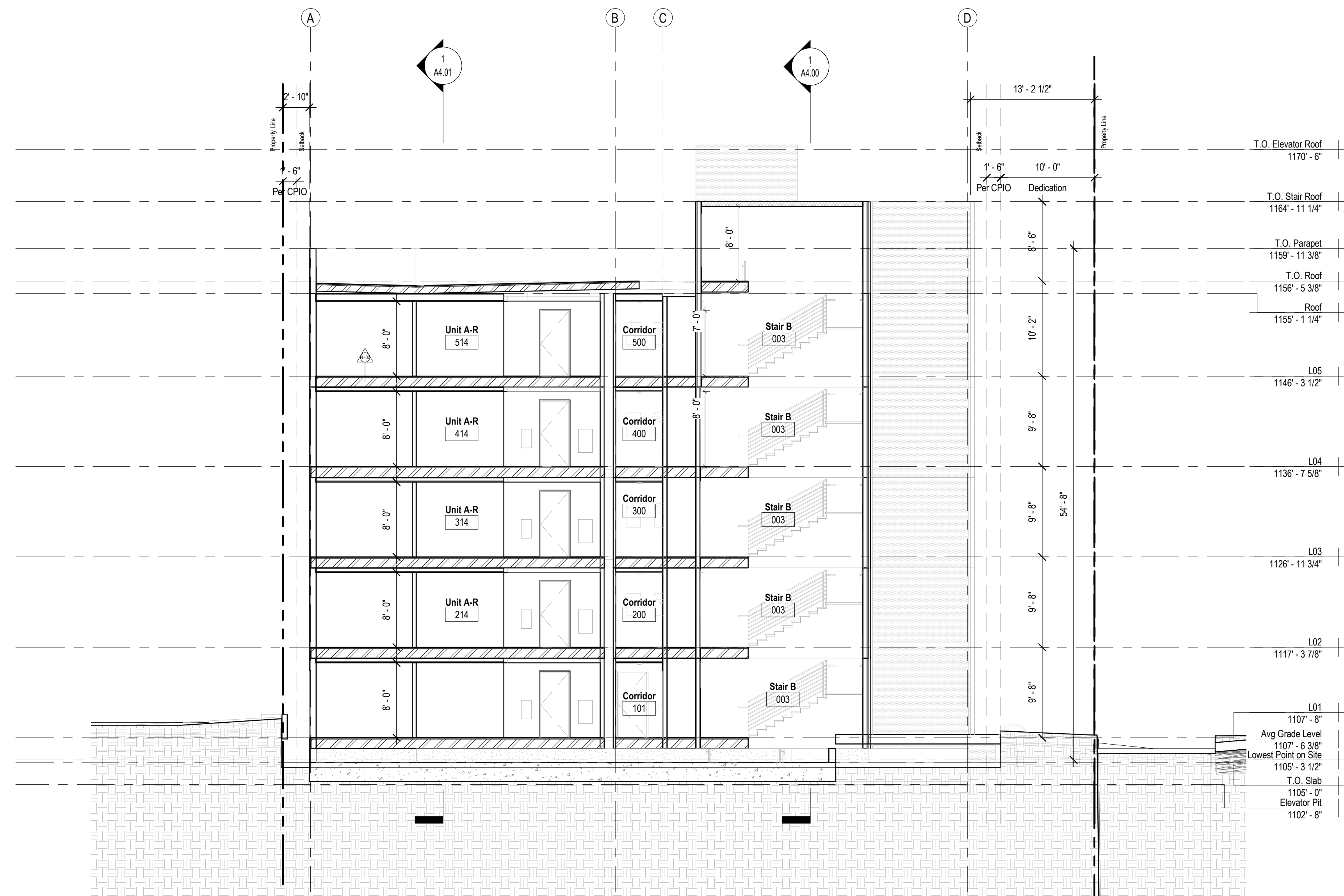
SHEET NO :

Legend

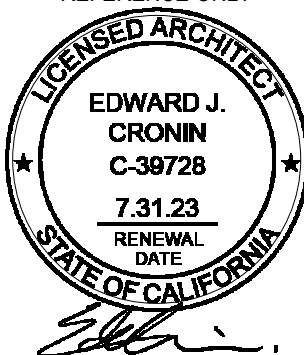
- Painted Stucco
- Vertical Hardie Siding
- Concrete
- Wire Mesh Panel
- Sheet Metal Reveal
- Ptd. Concrete

General Notes

1. New buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background and be a minimum of 4 inches high with a minimum stroke width of 0.5 inches.



NOT FOR CONSTRUCTION
 REFERENCE ONLY



SET ISSUE :
 DATE : ISSUE :
 11.21.2022 PZA Submittal
 12.15.2022 1st Plan check Submittal

PROJECT NO : 202203
 DRAWN BY : Author
 CHECKED BY : Checker
 SCALE : As indicated

SHEET NO :

General Notes

LAMC SEC.12.21.GENERAL PROVISIONS. A. Use. 16. Bicycle Parking and Shower Facilities.

- Dwelling Units.** For all residential buildings other than hotels and motels containing more than three dwelling units, long- and short-term bicycle parking shall be provided according to the ratios specified for each marginal increment of dwelling units specified in Table 12.21 A.16.(a)(1)(i). A minimum of two short-term bicycle parking spaces shall be provided in all cases. ((a) Land Uses. (1) Residential. (i) Dwelling Units.)

**Table 12.21 A.16.(a)(1)(i)
 Required Short-Term and Long-Term Bicycle Parking Spaces by Residential Dwelling Unit**

Dwelling Units	Short-Term Spaces	Long-Term Spaces
1 - 25	1 space per 10 units	1 space per unit
26 - 100	1 space per 15 units	1 space per 1.5 units
101 - 200	1 space per 20 units	1 space per 2 units
201 +	1 space per 40 units	1 space per 4 units

- Short-Term Bicycle Parking.** Short-term bicycle parking shall consist of bicycle racks that support the bicycle frame at two points. Racks that support only the wheel of the bicycle are not permissible. ((i) Bicycle Parking Facility Requirements. (1) Short-Term Bicycle Parking.)

- Racks shall allow for the bicycle frame and at least one wheel to be locked to the racks.
- The bicycle rack shall allow for the use of a cable as well as a U-shaped lock.
- If bicycles can be locked to each side of the rack, each side shall be counted toward a required space.
- Racks shall be securely anchored to a permanent surface.
- If more than 20 short-term bicycle parking spaces are provided, at least 50 percent shall be covered by a roof or overhang.

- Long-Term Bicycle Parking.** Long-term bicycle parking shall be secured from the general public and enclosed on all sides and protect bicycles from inclement weather. ((i) Bicycle Parking Facility Requirements. (2) Long-Term Bicycle Parking.)

- Acceptable examples of long-term bicycle parking include bicycle lockers, bicycle rooms, bicycle cages, or commercially operated attended bicycle facilities.
- Except in the case of lockers and commercially operated attended bicycle parking, all long-term parking shall provide a means of securing the bicycle frame at two points to a securely anchored rack.

4. Dimensions.

- Each bicycle parking space shall be a minimum 6 feet (72 inches) in length. ((a) Design Standards. (1) Dimensions.)

- Vertical Storage.** Long-term bicycle parking may be mounted so that the bicycle is stored vertically. Such devices that hold the bicycle by the wheel shall be designed to support the bicycle without damaging the wheels.
- Stacked Storage.** Long-term or short-term bicycle parking may be mounted so that bicycles are stored in a stacked, two-tier layout, provided such parking is primarily an attended bicycle facility where facility staff parks the bicycles, or such racks provide mechanical assistance for lifting the bicycle.
- Horizontal Storage.** Where bicycles are stored horizontally, devices that hold the bicycle upright by wheel contact shall hold at least 180 degrees of wheel arc.

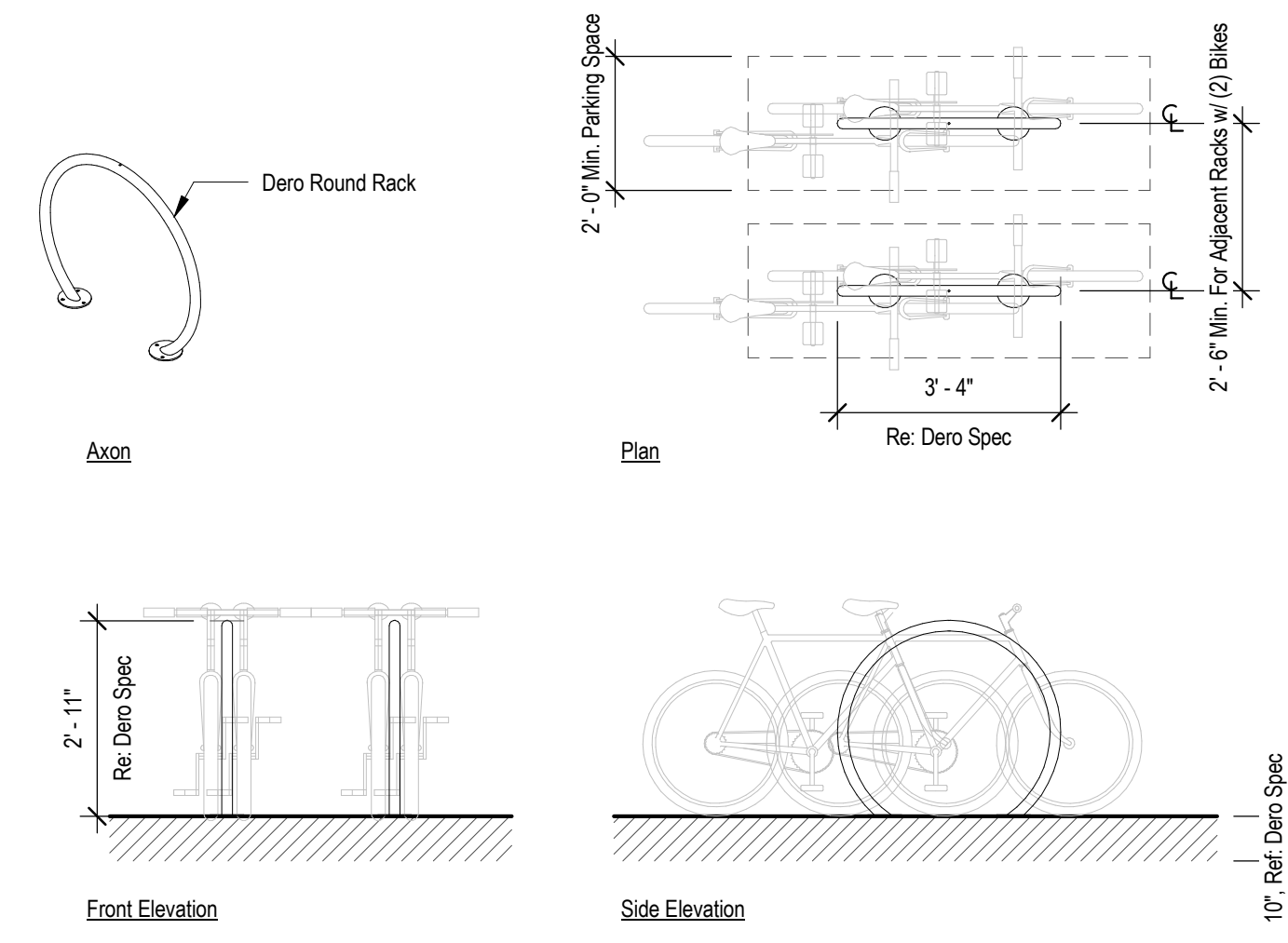
- Short-term bicycle parking spaces shall be a minimum of 2 feet (24 inches) wide.

- Individual racks installed beside each other that allow bicycles to be locked to either side of the rack shall be spaced a minimum of 30 inches on center.
- Racks installed parallel to walls shall be a minimum of 30 inches from the wall, except that bicycle parking spaces providing a tray or channel for insertion of bicycle wheels may be placed a minimum of 20 inches from the wall, or 14 inches from the wall if such spaces are on the upper level of a stacked, two-tier rack.
- Bicycle parking spaces arranged in a vertically staggered layout that permits bicycles to be placed in and removed from each individual space without interference from bicycles in adjoining spaces may be spaced a minimum of 16 inches on center.

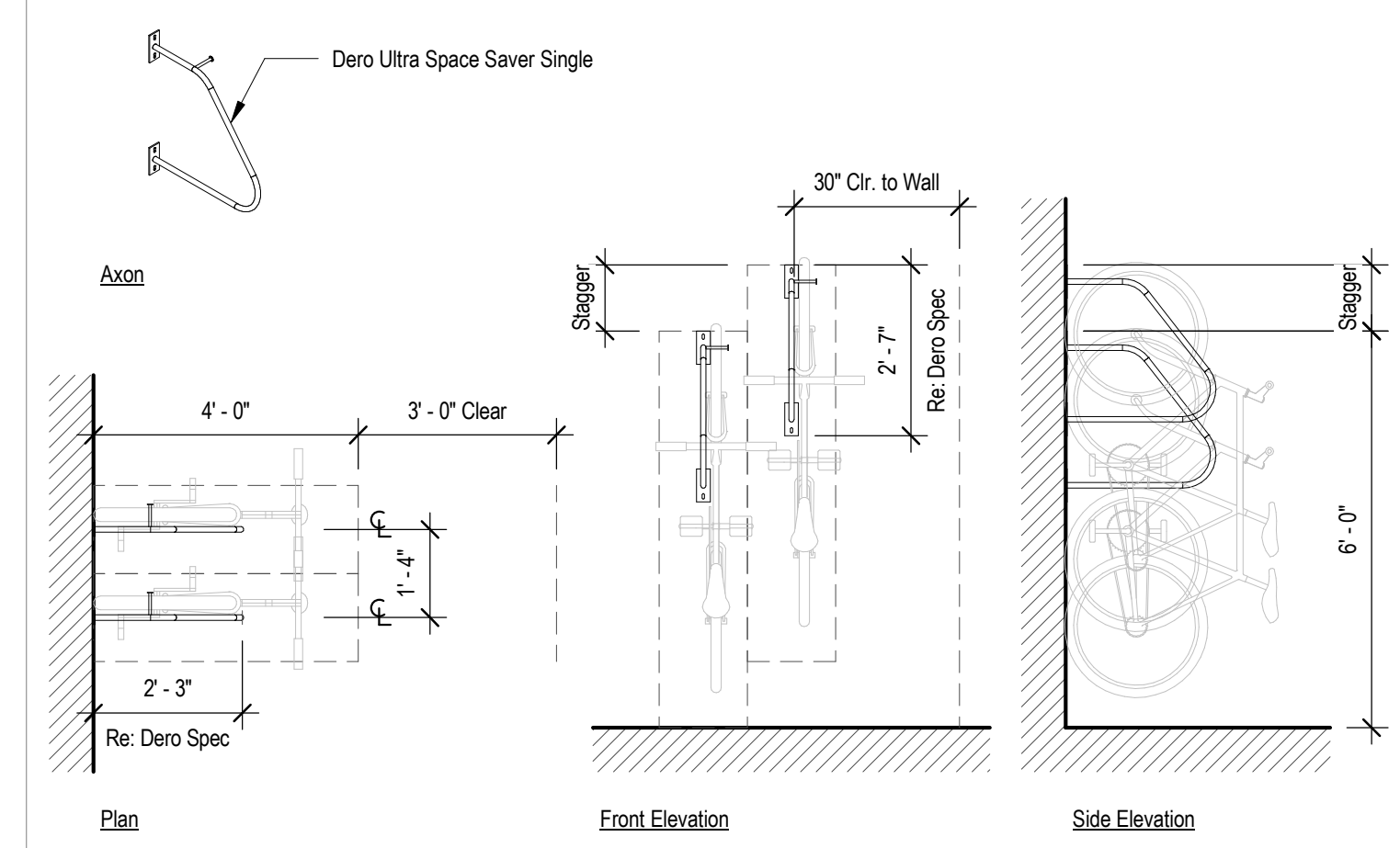
- Long-term bicycle parking spaces shall be sized to permit safe, efficient, and convenient access to each individual bicycle parking space without interference from bicycles in adjoining spaces, as described below.

- Individual racks installed beside each other within bicycle rooms or bicycle cages that allow bicycles to be locked to either side of the rack shall be spaced a minimum of 30 inches on center.
- Racks installed parallel to walls shall be a minimum of 30 inches from the wall, with the exception that bicycle parking spaces that provide a tray into which the bicycle wheels may be inserted may be placed a minimum of 20 inches from the wall, or 14 inches from the wall if such spaces are on the upper level of a stacked, two-tier rack.
- Triangular lockers with varying widths may be used so long as the opening is at least 2 feet (24 inches) wide.
- Bicycle parking spaces arranged in a vertically staggered layout that permits bicycles to be placed in and removed from each individual space without interference from bicycles in adjoining spaces may be spaced a minimum of 16 inches on center.
- If more than 20 long-term bicycle parking spaces are provided, a workspace of 100 square feet shall be provided adjacent to the long-term bicycle parking to allow bicyclists to maintain their bicycles. However, where long-term bicycle parking is provided in more than one location, a single workspace may be provided adjacent to the location with the greatest number of long-term bicycle parking spaces.

- For single-tiered bicycle parking, minimum headroom of 7 feet (84 inches) shall be provided. For facilities where two tiers of bicycle parking are installed one above another, minimum headroom of 4 feet (48 inches) shall be provided for each tier.
- Bicycle parking spaces shall be separated from automobile parking spaces or aisles by a wall, fence, or curb or by at least 5 feet of open space marked to prohibit parking.
- Where bicycle parking is adjacent to accessible automobile parking, aisles or loading areas provided for accessible spaces may count towards the open space requirement for bicycle parking so long as they are immediately adjacent to the bicycle parking.



2 3/8" = 1'-0" Short-Term Bike Storage



1 3/8" = 1'-0" Long-Term Bike Storage