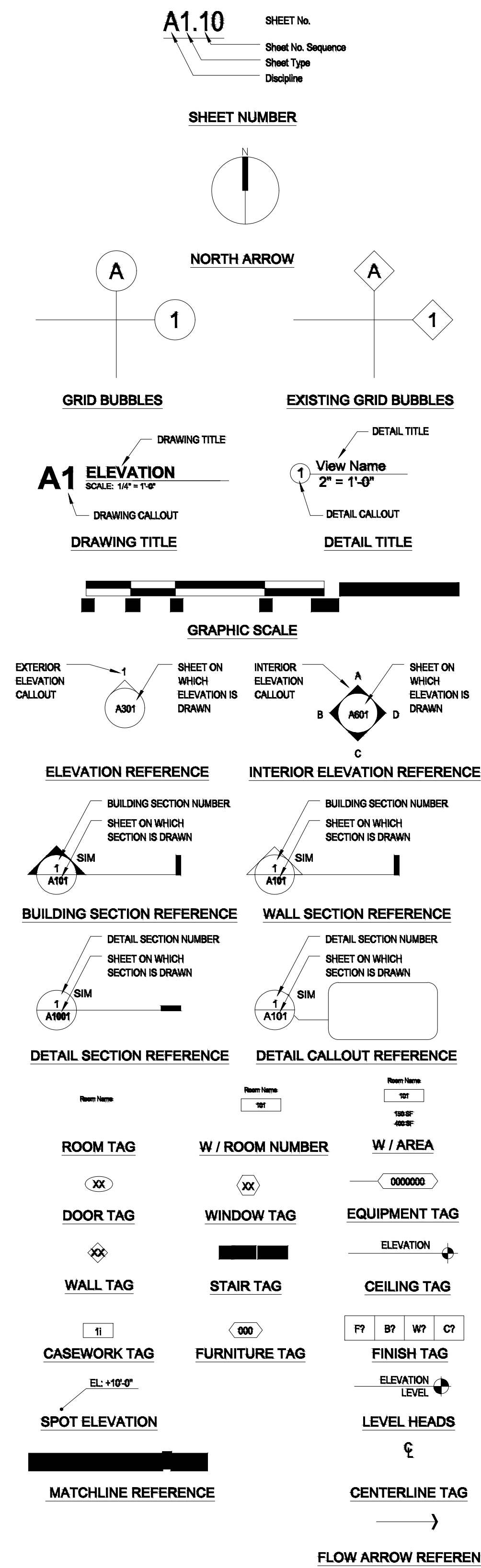


**ABBREVIATION**

A.B. ANCHOR BOLT	MATL. MATERIAL
A.C. ASPHALTIC CONCRETE	MACH. MACHINE
A/C AIR CONDITIONING	MAX MAXIMUM
A.C.T. ACOUSTICAL CEILING TILE	MECH MECHANICAL
ACOUS. ACOUSTICAL	MET MTL METAL
ADJ. ADJACENT	MFR MANUFACTURER
A.F.F. ABOVE FINISH FLOOR	MISC MISCELLANEOUS
ALT. ALTERNATE	MIN/MN MINIMUM
AL/ALUM ALUMINUM	MIR. MIRROR
APPROX APPROXIMATE	MISC. MISCELLANEOUS
ARCH. ARCHITECT	MNT MOUNT / MOUNTED
BO BOARD	M.O. MASONRY OPENING
BLDG BUILDING	MTL METAL
BLKG BLOCKING	(N) NEW
B.O. BY OTHERS	N NORTH
C.A. CLEAR ANODIZED	N.I.C. NOT IN CONTRACT
CAB. CABINET	NO / # NUMBER
CEM. CEMENT	NOM NOMINAL
CER. CERAMIC	N.S.F.S. NEAR SIDE AND FAR SIDE
C.G. CORNER GUARD	N.T.S. NOT TO SCALE
C.J. CONTROL JOINT	O/ OVER
C.L. CENTER LINE	O.C. ON CENTER
CLG/CLNG CEILING	O.D. OUTSIDE DIAMETER
CLR CLEAR	OPNG OPENING
C.M.U. CONCRETE MASONRY UNIT	OPP OPPOSITE
COL. COLUMN	O.R.D. OVERFLOW ROOF DRAIN
CONC. CONCRETE	P.L./PLAM. PLASTIC LAMINATE
CONST CONSTRUCTION	PL YWD PLYWOOD
CONT. CONTINUOUS	PNL PANEL
CORR. CORRIDOR	PNT PAINT
CPT CARPET	PR PAIR
C.T. CERAMIC TILE	P.T. PRESSURE TREATED
C.W. COLD WATER	PS PIPE SHAFT OR DUCT SHAFT
DTL/DET DETAIL	Q.T. QUARRY TILE
DEMO DEMOLITION	RAD RADIUS
DIA DIAMETER	R.D.L. ROOF DRAIN LEADER
DIM DIMENSION	RD ROOF DRAIN
ON DOWN	REC RECESSED
DWG DRAWING	RECT RECTANGLE
EA EACH	REF REFERENCE
E.I.F.S. EXTERIOR INSULATION	REINF REINFORCED/ING
AND FINISH SYSTEM	REQ REQUIRED
E.J. EXPANSION JOINT	RES RESILIENT
ELEV ELEVATOR	RM ROOM
ELEC ELECTRICAL	R.O. ROUGH OPENING
E.O. EDGE OF	S.C. SOLID CORE
E.O.S. EDGE OF SLAB	SCHED SCHEDULE
EQ EQUAL	S.F. SQUARE FOOT
EXH EXHAUST	SHT SHEET
(E)EXIST. EXISTING	SIM SIMILAR
EXP EXPANSION	S.O.G. SLAB ON GRADE
EXT EXTERIOR	SPECS SPECIFICATIONS
E.W. EACH WAY	SQ SQUARE
F.D/FD FLOOR DRAIN	ST STAIN
F.E. FIRE EXTINGUISHER	STD STANDARD
F.E.C. FIRE EXTINGUISHER CABINET	STG STAGGER TOP AND BOTTOM
F.H.C. FIRE HOSE CABINET	STL STEEL
FIN FINISH	ST.STL. STAINLESS STEEL
FL FLOOR	STS STAINLESS STEEL
F.O.B. FACE OF BRICK	STOR STORAGE
F.O.F. FACE OF FINISH	STR STRUCTURE
F.O.S. FACE OF STUDS	STRUCT STRUCTURAL
F.R.P. FIBERGLASS REINFORCED	S.S. SANITARY SEWER
PANEL	SUSP SUSPENDED
F.R.T. FIRE RETARDENT TREATED	SYNTH SYNTHETIC
F.S. FLOOR SINK	T.O. TOP OF
FT FEET	T.O.S. TOP OF STEEL
GA GAUGE	T.O.P TOP OF PARAPET
GALV GALVANIZED	TEL. TELEPHONE
GWB GYPSUM WALL BOARD	TEMP TEMPERED
GYP GYPSUM	T/THK THICKNESS
HNGT HEIGHT	T.O.S. TOP OF SLAB
HORIZ. HORIZONTAL	TYP TYPICAL
HR. HOUR	U.N.O. UNLESS NOTED OTHERWISE
I.D. INSIDE DIAMETER	UTI L UTILITY
INCL INCLUDING	V.I.F. VERIFY IN FIELD
INSUL INSULATION	V.C.T. VINYL COMPOSITE TILE
INT INTERIOR	VERT VERTICAL
JAN JANITOR	V.W.C. VINYL COMPOSITION TILE
JST. JOIST	W/ WITH
JT. JOINT	W/O WITHOUT
K.S. KNEE SPACE	WIN WINDOW
L# LEVEL #	WD WOOD
LAM. LAMINATE	W.P. WATER PROOFING
	WT. WEIGHT
	W.W.F. WELDED WIRE FABRIC

**SYMBOLS LEGEND**



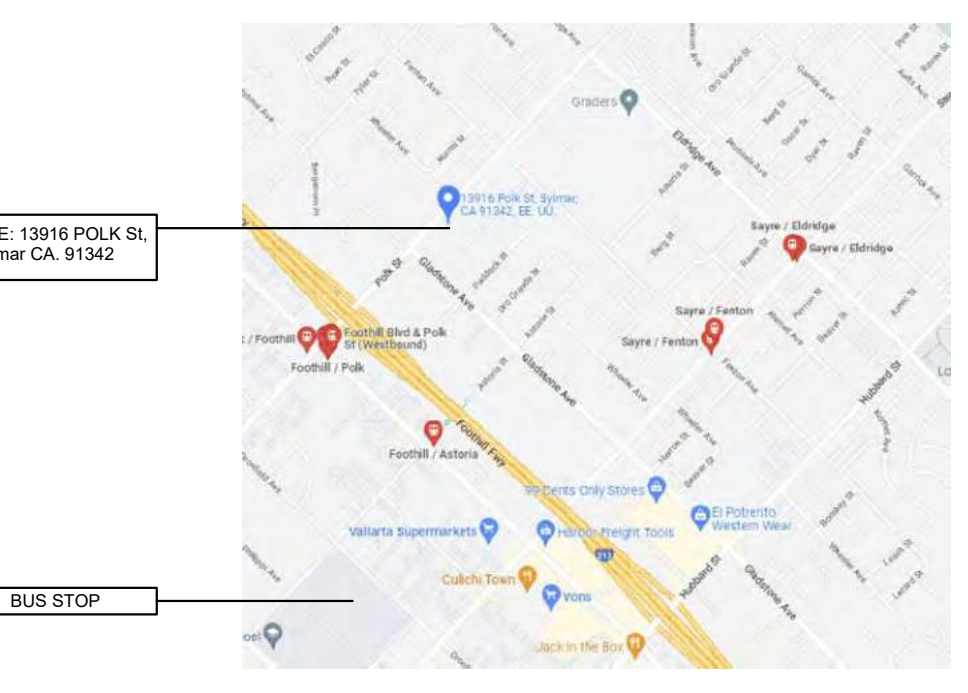
**GRAPHIC LEGEND**

	ALUMINIUM		BATT INSULATION
	CONCRETE		PRECAST
	GLASS		GRAVEL
	RIGID INSULATION		SAND
	BRICK IN SECTION		WOOD - SOLID
	CONCRETE MASONRY UNIT		PLYWOOD
	EARTH		BRICK
	GYPSUM / PLASTER		CULTURED STONE
	STEEL		EXTERIOR COMPOSITE PANEL
	PEA GRAVEL		CONTINUOUS BLOCKING
	STONE		BLOCKING
	CROSS		DOTS
	DIAMONDS		HOUNDSTOOTH
	DASH		GRASS

**DEFERRED/ SEPARATED PERMIT**

1. GENERAL CONTRACTOR SHALL PROCEED MECHANICAL AND PLUMBING PERMIT IF REQUIRED.
2. GENERAL CONTRACTOR SHALL PROCEED ELECTRICAL PERMIT IF REQUIRED.
3. FIRE PROTECTION PERMIT (IF REQUIRED) TO BE DEFERRED SUBMITTAL BY THE OWNER OR GENERAL CONTRACTOR.
4. SOLAR PANEL PERMIT (IF REQUIRED) TO BE DEFERRED SUBMITTAL BY THE OWNER OR GENERAL CONTRACTOR.

**BUS STOP MAP**



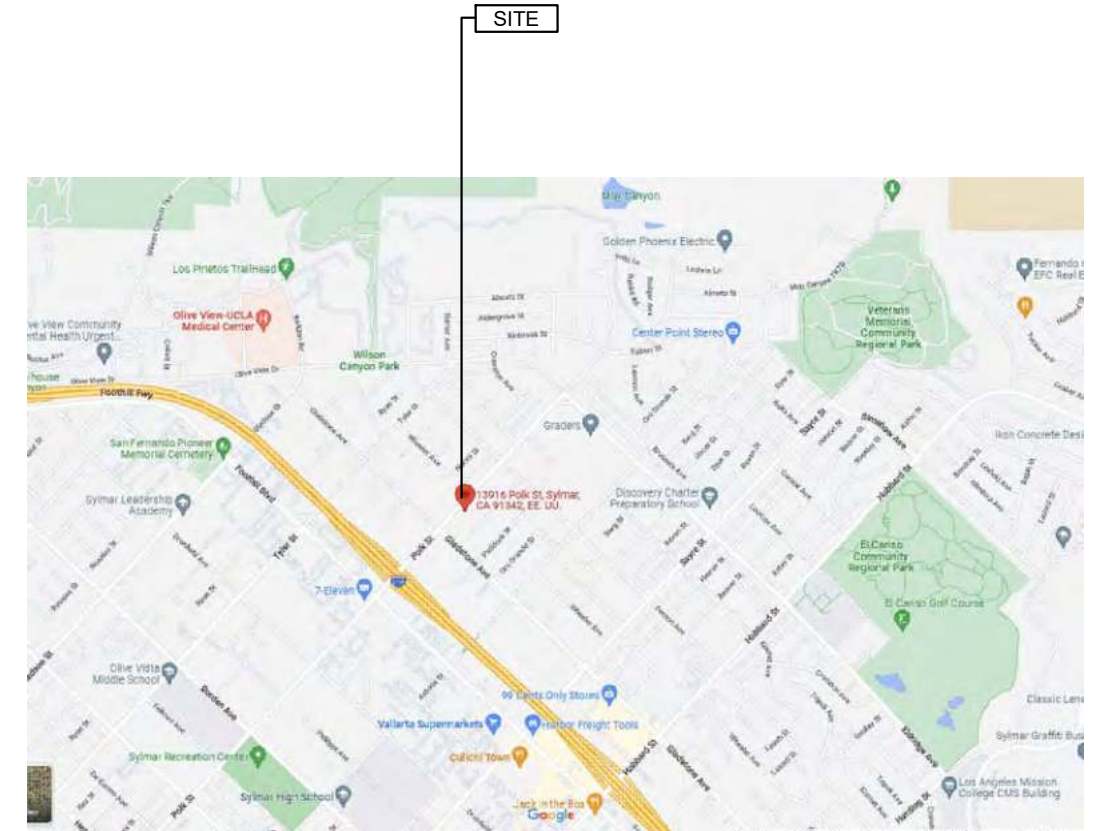
**CODE**

ALL PLANS AND WORK FOR THE PROJECT SHALL CONFIRM TO THE REQUIREMENT OF THE FOLLOWING CODES:  
 2022 CALIFORNIA RESIDENTIAL CODE  
 2022 CALIFORNIA BUILDING CODE (VOLUME 1 & 2)  
 2022 CALIFORNIA ELECTRICAL CODE (2011 NEC)  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CALIFORNIA ENERGY CODE  
 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

**LEGAL DESCRIPTION**

THE SOUTHWEST 140 FEET OF THE NORTHEAST 315 OF THAT PORTION OF THE WEST 10 ACRES OF BLOCK 30, MACLAY RANCHO EX MISSION DE SAN FERNANDO, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 37, PAGE 5, OF MISCELLANEOUS RECORDS (MAPS), LYING NORTHWESTERLY OF A LINE BISECTING THE NORTHEAST AND SOUTHWEST LINES OF SAID 10 ACRES.

**VICINITY MAP**



**PROJECT PARTICIPANTS**

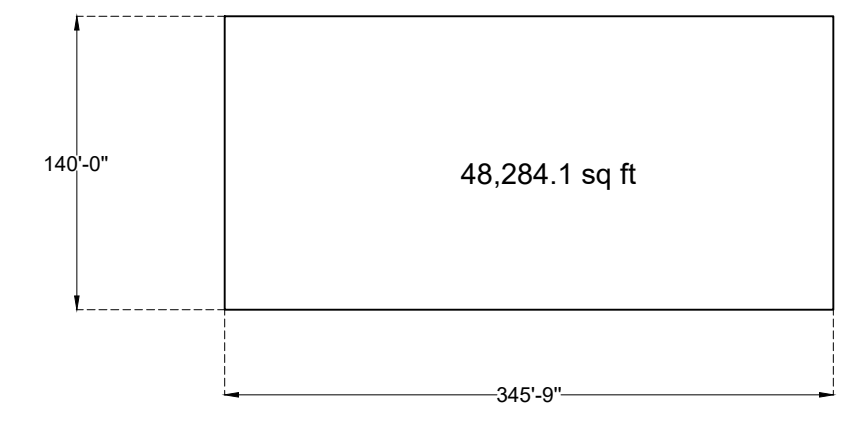
**OWNER**  
 AKHILESH JHA  
 13916 POLK ST, SYLMAR, CA 91342

**ARCHITECT**  
 F. DESIGN BY FABIOLA BURKE  
 PO Box 1624 hawthorne, CA 90251  
 1-310-995-4859

**FLOOR AREA TABLE**

ITEM	EXISTING	TO BE DEMOLISHED	UNIT: SF	
			NEW	
SINGLE FAMILY HOME	1910	1910	-	
44 RESIDENTIAL UNITS	-	-	96,876	

**BUILDABLE AREA CALCULATIONS**



**PROJECT DESCRIPTION**

NEW FORTY-FIVE 4BR/4BA RESIDENTIAL UNITS

**PROJECT DATA**

SITE LOCATION: 13916 POLK St, Sylmar CA. 91342

ZONE: RA-1-A-K

LOT AREA: 48,284.1

CONSTRUCTION TYPE: TYPE V-B

OCCUPANCY GROUP: R-3

PARKING: COVERED 40, UNCOVERED 0

NUMBER OF STORIES: 3

BUILDING HEIGHT: 40' HEIGHT PER ZONING CODE

**DRAWING INDEX**

DWG NO.	TITLE
ARCHITECTURE	
G1	GENERAL NOTES
G2	GENERAL NOTES
A1	SITE PLAN
A2	FLOOR PLAN
A3	FLOOR & ROOF PLAN FOURPLEX
A4	FLOOR & ROOF PLAN TRIPLEX
A5	BUILDING ELEVATION
A6	BUILDING ELEVATION (lot)
DT1	DETAILS
DT2	DETAILS
DT3	DETAILS
DT4	DETAILS
G3	CITY DOCUMENTS
B1	BUILDING AREA

**F DESIGN**  
 BY: FABIOLA BURKE  
 1-310-995-4859

PO Box 1624  
 Hawthorne,  
 CA 90251

13916 POLK ST SYLMAR, CA 91342

CLIENT	AKHILESH KUMAR	JHA
FABIOLA BURKE		
- DESIGNED BY		
POLK HOUSING PROJECT		
- PROJECT NAME		
GENERAL NOTES		
-SCALE	- DWG. ID	
-DATE	G1	
DEC/22		

## GENERAL NOTES 1

1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUB-CONTRACTORS.

2. ALL CONSTRUCTION SHALL COMPLY WITH THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE AS ADOPTED BY THE JURISDICTIONAL AGENCY AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.

3. NO CHANGE ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE ARCHITECT AND OWNER WHOSE SIGNATURE APPEARS HERE ON.

4. DIMENSIONS AS INDICATED ARE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE THE PRINTS.

5. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT AND OWNER, ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERROR, AFTER THE START OF CONSTRUCTION, WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE COORDINATED WITH THE ARCHITECT.

6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREON OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THE WORK.

7. EXISTING ELEVATIONS AND WORK TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY SHALL DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE IN ORDER TO PROCEED WITH THE WORK.

8. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED.

9. AGENCY APPROVED PLANS SHALL BE KEPT IN A SMALL PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO RETAIN, IN GOOD CONDITION, ONE (1) COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES.

10. ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES AND THE ALL AREAS SHALL BE LEFT IN A BROOM CLEAN CONDITION AT ALL TIMES.

11. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF ALL THE OCCUPANTS AND WORKERS AT ALL TIMES.

12. MINIMUM FLAME SPREAD CLASSIFICATION FOR INTERIOR FINISHES SHALL BE CLASS III AND SHALL CONFORM WITH THE REQUIREMENTS OF CAC TITLE 19, SECTION 4204.

13. GENERAL CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL FIRE INSPECTOR.

14. GYPSUM WALL BOARD AND SUSPENDED CEILING SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, SUSPENDED CEILING SHALL BE INSTALLED IN COMPLIANCE WITH U.B.C. STANDARDS.

15. ALL GLASS AND GLAZING SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE, AND THE U.S. CONSUMER PRODUCTS SAFETY COMMISSION, SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS.

16. CONVENTIONAL DETAILS SHALL APPLY WHERE NO SPECIAL DETAIL OR CALL-OUT IS SHOWN. THE OWNER WILL FURNISH ANY CLARIFICATION AT THE REQUEST OF THE SUPERINTENDENT.

17. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK AND MATERIALS PROVIDED BY OTHERS.

18. THE OWNER WILL PAY FOR THE BUILDING PERMIT AND ANY SEWER, WATER, OR OTHER LOCAL JURISDICTIONAL FEES OR ASSESSMENTS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUBCONTRACTORS WITH REGARD TO PERMITS, FEES AND TEMPORARY AS WELL AS PERMANGANATE UTILITIES. THE SUBCONTRACTORS SHALL OBTAIN CITY LICENSES AND SUBMIT SAME TO THE JOB SUPERINTENDENT BEFORE STARTING WORK. EACH SUB-CONTRACTOR SHALL PAY FOR ALL FEES AND PERMITS REQUIRED FOR THEIR PORTION OF THE WORK.

19. PLANS FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE APPROVED BY THE LOCAL FIRE DEPARTMENT PRIOR TO INSTALLATION.

20. ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS TO WHICH THEY ARE SUBJECT BUT NOT LESS THAN A FORCE FIVE (5) POUNDS PER SQUARE FOOT APPLIED PERPENDICULAR TO WALLS.

21. LIGHT, VENTILATION AND SANITATION SHALL COMPLY WITH THE CURRENT CALIFORNIA BUILDING CODE.

22. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SHARP OR ABRASIVE SURFACE UNDER LAVATORIES.

23. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN FIVE (5) POUNDS.

24. DOORS, WINDOWS AND OPENINGS SHALL COMPLY WITH THE CURRENT LOCAL SECURITY ORDINANCES.

25. THE FLOOR INSIDE OR OUTSIDE OF A DOORWAY SHALL BE LEVEL FOR A DISTANCE OF 44" X 48" AND 60" X 60" (SWING SIDE) AND SHALL EXTEND 18" BEYOND THE LATCH SIDE OF INTERIOR DOORS.

26. SWITCHES FOR CONTROL OF LIGHTS, VENTILATION, FIRE ALARMS, ETC. SHALL BE INSTALLED MIN. 36" AND MAX. 48" ABOVE THE FINISHED FLOOR. ELECTRICAL OUTLETS SHALL BE INSTALLED NOT LESS THAN 15" ABOVE THE FINISHED FLOOR.

27. INSTALL CONTINUOUS METAL CORNER BEADS AT ALL EXPOSED WALL BOARD EDGES. INSTALL CASING BEADS WHEREVER WALL BOARD, PLASTER, ETC. ABUTS A DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.

28. CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, STAIR RAILINGS, TOILET ROOM ACCESSORIES, PARTITIONS AND FOR ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT.

29. ALL GYPSUM BOARD IN TOILET ROOMS SHALL BE MOISTURE AND WATER RESISTANT.

30. MECHANICAL VENTILATION FOR TOILET ROOMS SHALL BE CAPABLE OF SUPPLYING A MIN. OF 5 EXCHANGES OF OUTSIDE AIR PER HOUR.

31. ALL ROOFING MATERIALS SHALL BE CLASS "A" RATED.

32. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9' MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS

32. LOS ANGELES RESEARCH REPORT FOR ROOFING MATERIALS, SKYLIGHTS, EXTERIOR METAL CLADDING TO SUBMITTED AS DEFERRED SUBMITTALS.

33. UNIT SKYLIGHT SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). LABC 2405.5

34. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, PRESCRIBED, OR REASONABLY IMPLIED BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.

35. ALL WORK SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION.

36. DIMENSIONS ON DRAWING ARE SHOWN TO CENTERLINE OF COLUMNS, SIDES OF FRAMING MEMBERS, AND FACE OF MASONRY /CONCRETE UNLESS INDICATED OTHERWISE.

37. DO NOT SCALE DRAWINGS.

38. STRUCTURAL, MECHANICAL ELECTRICAL, PLUMBING, CIVIL AND LANDSCAPE DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL REVIEW ALL PLANS AND DRAWINGS IN THE EVENT OF CONFLICTING STATEMENTS, INSUFFICIENT INFORMATION OR ERRORS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATION BEFORE ANY WORK IS BEGUN. WORK INSTALLED WHERE CONFLICTING CONDITIONS EXIST SHALL BE CORRECTED AT CONTRACTORS EXPENSE.

39. DIMENSIONS, DETAILS, NOTES AND OR SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS UNLESS NOTED OTHERWISE.

40. DETAILS NOTED AS 'TYPICAL' SHALL APPLY IN ALL LIKE CONDITIONS UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION OF THIS PROJECT.

41. WHENEVER AN ARTICLE, DEVICE, OR PIECE OF EQUIPMENT IS SHOWN, INDICATED, OR REFERRED TO ON THE DRAWINGS OR THESE NOTES IN THE SINGULAR NUMBER, SUCH REFERENCES APPLY TO AS MANY SUCH ARTICLES AS ARE REQUIRED TO COMPLETE THE INSTALLATION.

42. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB SITE PRIOR TO BEGINNING CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES OR UNIDENTIFIED CONDITIONS TO THE ARCHITECT FOR RESOLUTION BEFORE ANY WORK IS BEGUN.

43. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES AND PROCEDURES EMPLOYED IN THE PERFORMANCE OF WORK IN, ON OR ABOUT THE JOB SITE; THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL WORK PERFORMED BY SUB-CONTRACTORS.

44. ALL CONTRACTORS AND SUB-CONTRACTORS PERFORMING WORK ON, OR RELATED TO THIS PROJECT SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED, AND SHALL COMPLY WITH THE 'OCCUPATIONAL SAFETY AND HEALTH REGULATION' OF THE U.S. DEPARTMENT OF LABOR AND WITH ANY AND ALL OTHER APPLICABLE STATE AND/OR LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT; THAT THIS REQUIREMENT SHALL APPLY CONTINUALLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT

45. THE STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THE CONTRACTOR SHALL DESIGN AND PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE BUILDING DURING CONSTRUCTION.

46. UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, WELDED, OR OTHERWISE MODIFIED WITHOUT THE PERMISSION OF THE ARCHITECT.

47. WHETHER OR NOT DETAILED ON THE DRAWINGS, THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK AND OF ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, OR MISCELLANEOUS EQUIPMENT INCLUDING PLYWOOD BACKBOARDS FOR TELEPHONE AND ELECTRICAL EQUIPMENT ROOMS.

48. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL AND PERMITS FOR ALL DESIGN/BUILD SYSTEMS. HE SHALL ALSO BE RESPONSIBLE FOR INSURING THAT THE SYSTEMS MEET ALL APPLICABLE CODE REQUIREMENTS.

49. ANY MODIFICATIONS TO THE BUILDING SHELL RESULTING FROM DESIGN/BUILD REQUIREMENTS SHALL BE REPORTED TO THE OWNER AND ARCHITECT ALONG WITH ANY REQUIRED COSTS OR SAVING PRIOR TO CONSTRUCTION. ANY MODIFICATIONS NOT REPORTED WILL BE THE CONTRACTORS RESPONSIBILITY FOR COORDINATION, CODE CONFORMANCE, AND COST.

50. NEITHER THE ARCHITECT'S REVIEW OR APPROVAL OF SHOP DRAWINGS SHALL RELIEVE THE GENERAL CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM DRAWINGS OR SPECIFICATIONS UNLESS HE HAS CALLED THE ARCHITECT'S ATTENTION IN WRITING TO SUCH DEVIATIONS AT THE TIME OF SUBMISSION NOR SHALL IT RELIEVE HIM OF RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.

51. INSTALLATION OF GLASS SHALL CONFORM TO FEDERAL SPECIFICATION 16-CFR-1202 AND ALL LOCAL CODES AND ORDINANCES. GLASS SUBJECT TO HUMAN IMPACT SHALL COMPLY WITH U.S. CONSUMER PRODUCT SAFETY STANDARDS. A CERTIFICATE SHALL ACCOMPANY PRODUCT STATING DATE AND PLACE OF MANUFACTURE. ALL GLAZING SHALL BE TEMPERED WHEN REQUIRED BY CHAPTER 24 OF THE 2013 CBC.

52. REFER TO THE CIVIL ENGINEER'S DRAWINGS FOR LOCATIONS OF EXISTING UTILITY LINES. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATE AND THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING TO AVOID INTERCEPTING EXISTING PIPING OR CONDUITS.

53. THE CONTRACTOR SHALL SUBMIT A SOILS REPORT AND A COMPACTION REPORT TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FOUNDATION INSPECTIONS.

54. LOCATIONS OF ALL UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATION AND TRENCHING TO AVOID INTERCEPTING EXISTING PIPING OR CONDUITS. THE CONTRACTOR IS RESPONSIBLE TO VERIFY LOCATION OF ALL SITE UTILITIES AND TO COORDINATE AND AVOID CONFLICT IN THE LOCATIONS OF NEW UNDERGROUND AND SITE UTILITIES. THE CONTRACTOR SHALL INCLUDE ALL NECESSARY UTILITY FEES, METERS/AND CONNECTIONS IN HIS BID.

55. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT SHOULD UNIDENTIFIED FIELD CONDITIONS BE DISCOVERED.

56. ON A SET OF TRANSPARENCIES, FURNISHED BY THE ARCHITECT AT THE CONTRACTOR'S EXPENSE, THE CONTRACTOR SHALL DEEP AN UP-TO-DATE RECORD OF 'AS BUILT' CONDITIONS OF WORK. UPON COMPLETION OF THE WORK, THE SET SHALL BE RETURNED TO THE ARCHITECT COMPLETELY AND NEATLY POSTED SHOWING ALL ADDITIONS, DELETIONS, CORRECTIONS, AND REVISIONS IN THE ACTUAL CONSTRUCTION OF THE PROJECT. RECORD DRAWINGS SHALL BE SIGNED BY THE SUB-CONTRACTORS REPRESENTING ALL MAJOR TRADES FOR THE PROJECTS AS WELL AS THE GENERAL CONTRACTOR.

57. WHEN REQUESTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, MOUNTING, AND DISPLAYING ARCHITECT'S JOB CONTRACTOR SHALL ALSO RETURN THE JOB SIGN TO ARCHITECT AT COMPLETION OF PROJECT IN GOOD CONDITION.

58. SEE WALL LEGENDS OR CALL OUTS ON PLANS FOR WALL FRAMING MEMBER, FIRE RATINGS, GYPSUM BOARD THICKNESS AND OTHER WALL CONSTRUCTION MATERIALS. PROVIDE AND INSTALL HEAVIER GAUGE STUDS, STIFFENERS, BRACING, BACK-UP PLATED, AS REQUIRED IN STUD WALLS FOR THE SUPPORT OF TOILET ROOM FIXTURES AN OTHER WALL MOUNTED EQUIPMENT.

59. ALL GYPSUM BOARD USED IN JANITOR'S ROOMS AND ALL TOILET ROOMS SHALL BE WATER RESISTANT.

60. ALL ROOFING MATERIALS SHALL COMPLY WITH ALL APPLICABLE STANDARDS LISTED IN 2013 CBC CHAPTER 7A.

61. PRIOR TO ERECTION, THE CONTRACTOR SHALL SUPPLY THE BUILDING INSPECTOR WITH AN A.I.T.C. CERTIFICATE ON COMPLIANCE FOR THE STRUCTURAL GLU-LAINATED MEMBERS WHEN USED.

61-1. FIRE PARTITIONS AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS (708.4, 709.4)

## GENERAL NOTES 2

1-26. RESERVED.

27. SOIL ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE FOR THE GRADING INSPECTOR. THE GRADING INSPECTOR IS TO BE NOTIFIED BEFORE ANY GRADING BEGINS AND, FOR BOTTOM INSPECTION, BEFORE FILL IS PLACED. FILL MAY NOT BE PLACED WITHOUT APPROVAL OF THE GRADING INSPECTOR.

28. THE DETAIL PROVIDED DURING THE CONSTRUCTION BY RFI DOESNT MEAN ADDING SUM OF WORK OR SUM OF TIME OF THE CONSTRUCTION, AS LONG AS THE DETAIL'S INTENTION WAS ALREADY INDICATED IN THE CONTRACT DOCUMENTS

29. ALL DIMENSIONS IN THE PLAN INDICATE DISTANCE BETWEEN FINISH TO FINISH U.N.O

## GENERAL NOTES 3

A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

C. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

D. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

E. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

F. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

G. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

H. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

I. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

J. FOR EXISTING POOL ON SITE, PROVIDE ANTIENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (31628)

K. AU TOMA TIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

L. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTIENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)

M. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)

N. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

O. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

P. PROVIDE (70)(72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTIER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE

Q. SPRINKLER SYSTEM MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION

R. A FIRE ALARM (VISUAL AND AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION (LAMC 57.122)

S. CARBON MONOXIDE ALARM IS REQUIRED PER (SEC 420.6, R315)

## GENERAL NOTES 4

THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVE, MSETERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

2. AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158 AND 180.670) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND

3. PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

# F DESIGN

BY: FABIOLA BURKE  
1-310-995-4859

PO Box 1624  
Hawthorne,  
CA 90251

13916 POLK ST SYLMAR, CA 91342

CLIENT	AKHILESH KUMAR	JHA
	FABIOLA BURKE	
	- DESIGNED BY	
	POLK HOUSING PROJECT	
	- PROJECT NAME	
GENERAL NOTES		
-SCALE		- DWG. ID
-DATE		G2
DEC/22		

1. PROVIDE (70) (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE. (1209.2.2, 2406.4.5, R307.2, R308.4)

2. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3 & LAPC)

3. SPECIFY ON PLANS: "SPRINKLER SYSTEM MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION."

4. A FIRE ALARM (VISUAL AND AUDIBLE) SYSTEM IS REQUIRED. THE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION. (LAMC 57.122)

5. CARBON MONOXIDE ALARM IS REQUIRED PER (SEC. 420.5, R315)

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED.

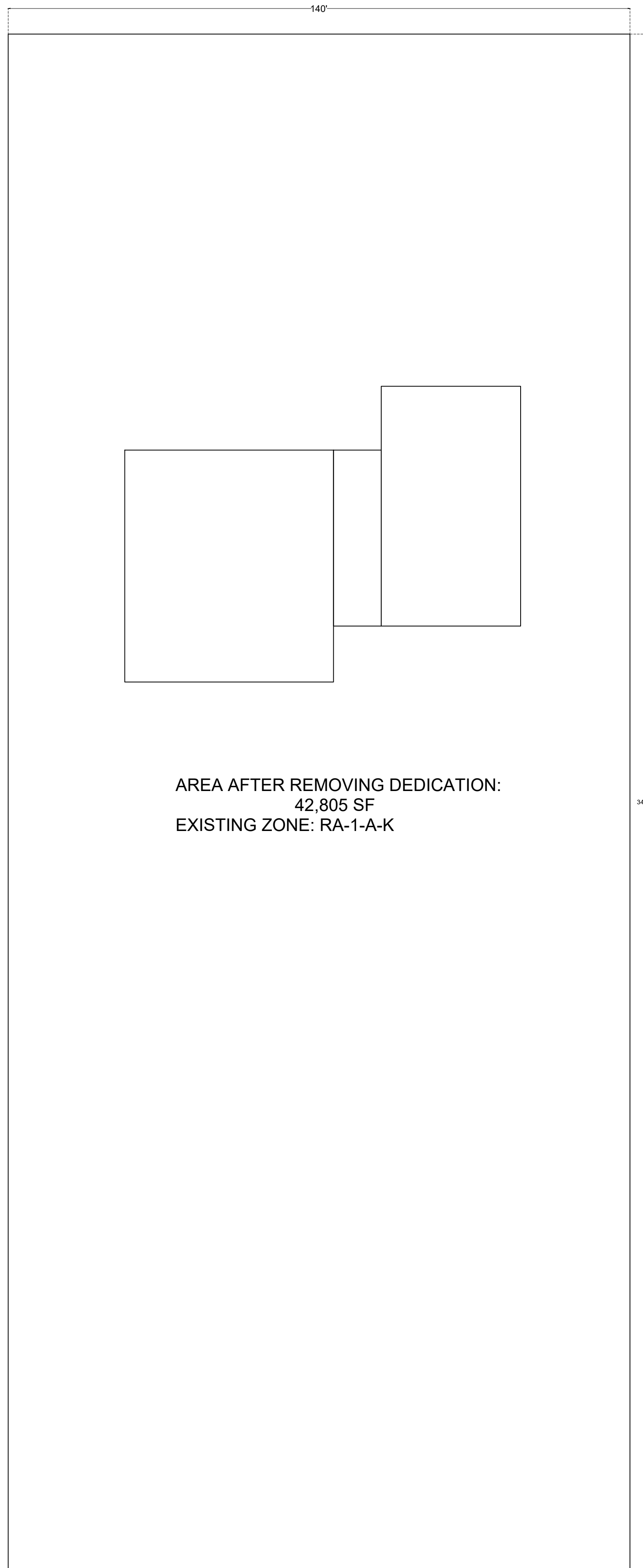
POLK STREET

POLK STREET

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Hawthorne,  
CA 90251

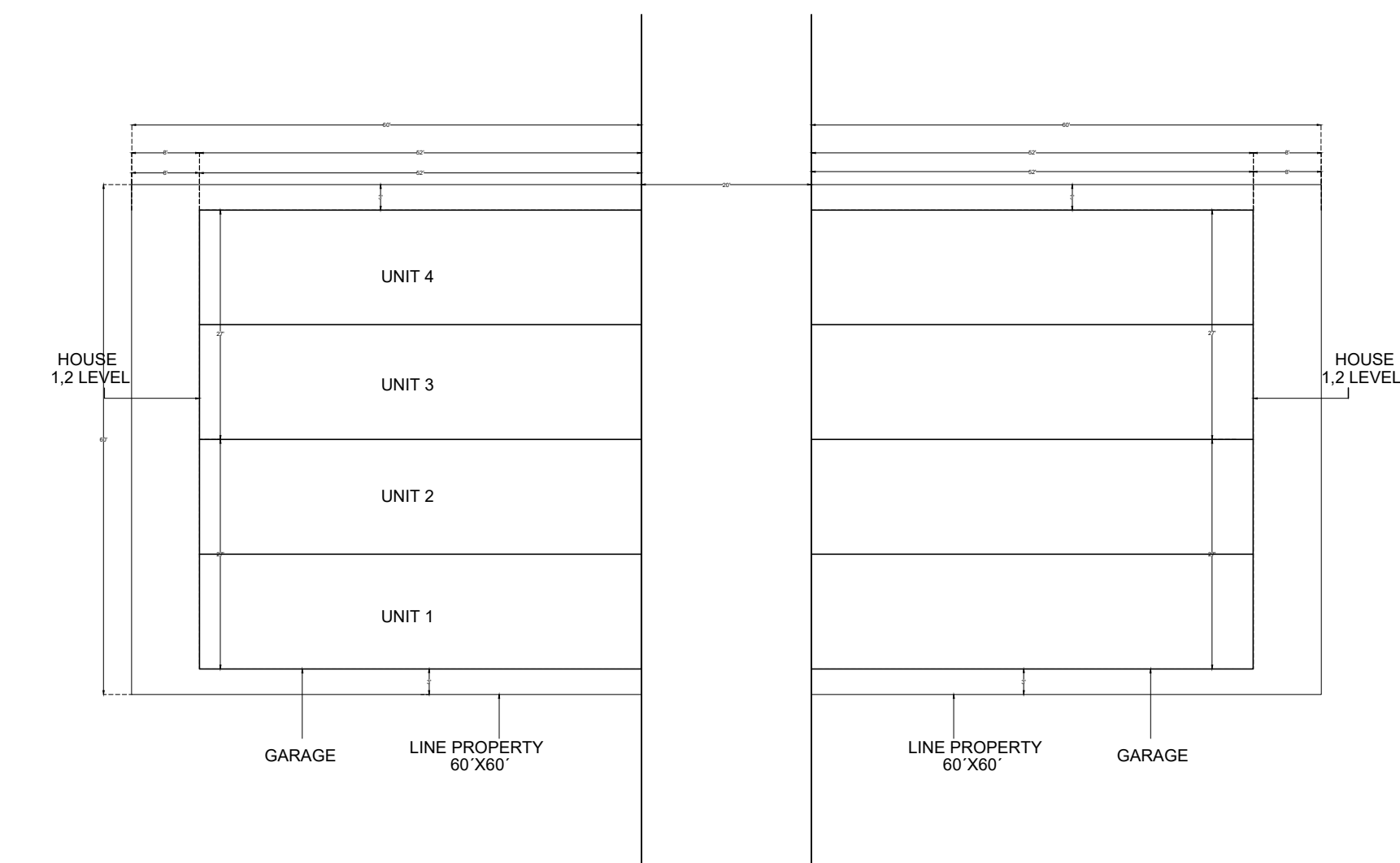
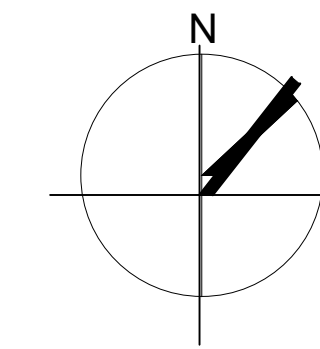


AREA AFTER REMOVING DEDICATION:  
42,805 SF  
EXISTING ZONE: RA-1-A-K

EXISTING PLAN



PROPOSED PLAN



SITE PLAN OF FOURPLEX

13916 POLK ST SYLMAR, CA 91342

CLIENT  
AKHILESH KUMAR JHA

FABIOLA BURKE

- DESIGNED BY

POLK HOUSING PROJECT

- PROJECT NAME

SITE PLAN

-SCALE  
1/2" = 1'-0"

-DATE  
DEC/22

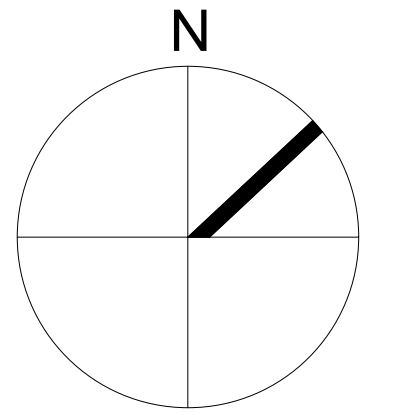
- DWG. ID

A1

# F DESIGN

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13916 POLK ST SYLMAR, CA 91342

CLIENT  
AKHILESH KUMAR JHA

FABIOLA BURKE

- DESIGNED BY

POLK HOUSING PROJECT

- PROJECT NAME

FLOOR PLAN

-SCALE

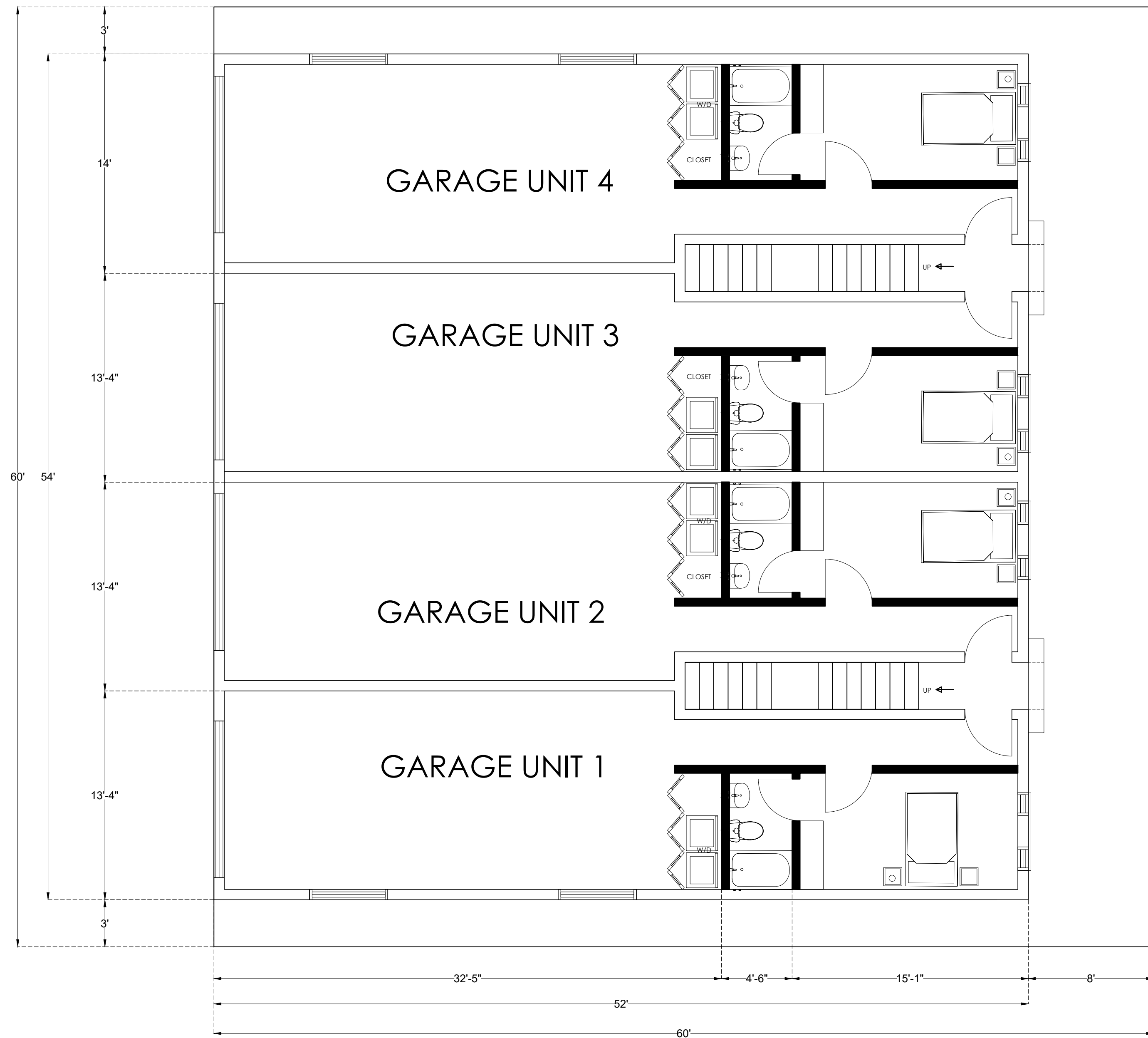
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-DATE

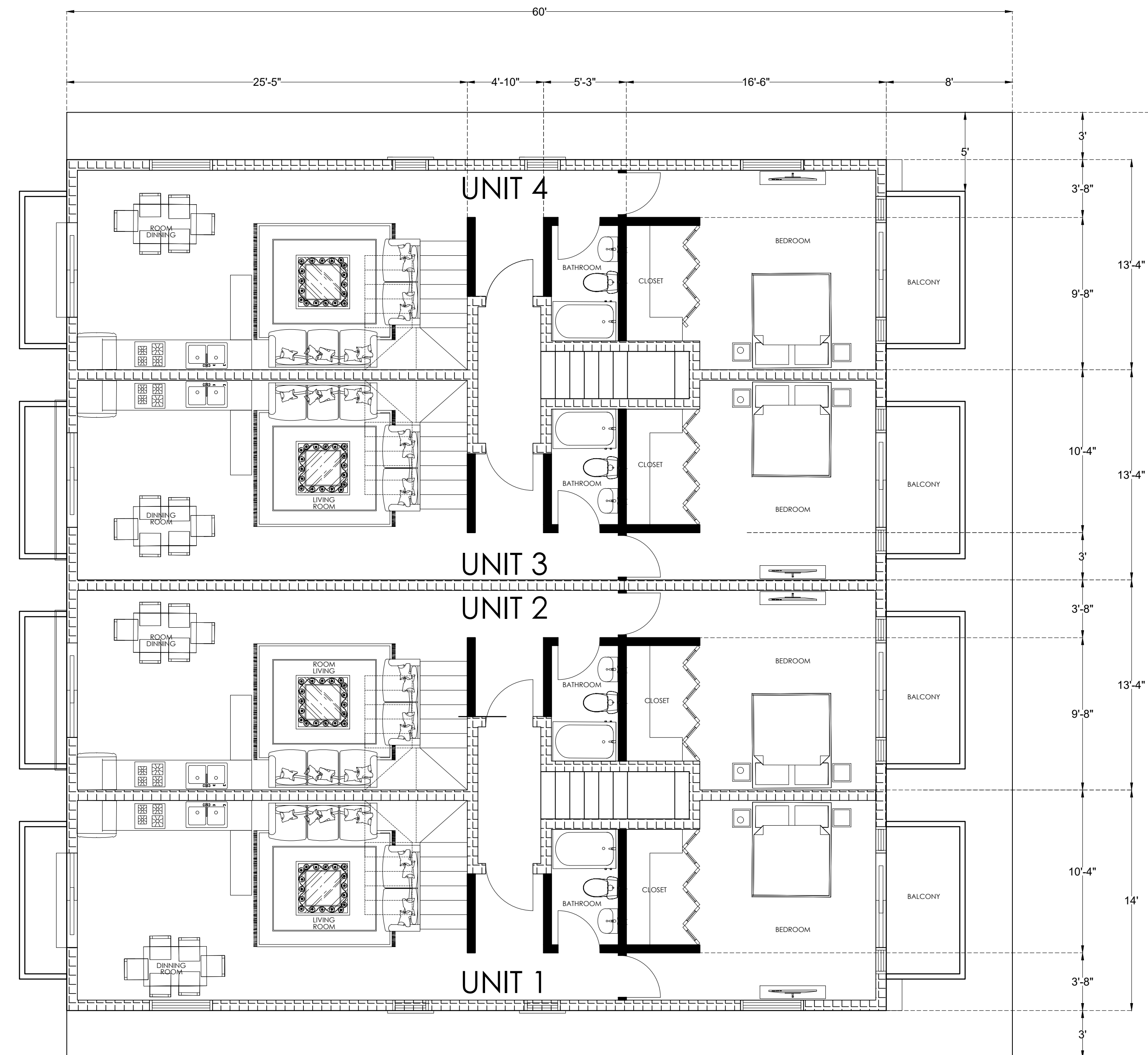
DEC/22

- DWG. ID

A2



FIRST FLOOR OF FOURPLEX

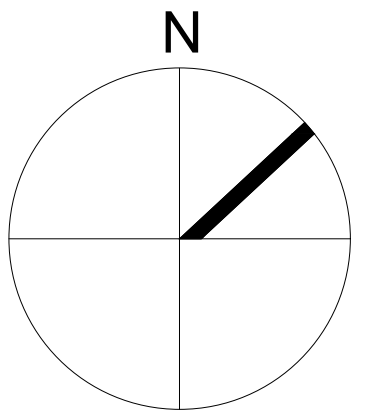


SECOND FLOOR OF FOURPLEX

# F DESIGN

BY: FABIOLA BURKE  
1-310-995-4859

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CA 90251



13916 POLK ST SYLMAR, CA 91342

CLIENT  
AKHILESH KUMAR JHA

FABIOLA BURKE

- DESIGNED BY

POLK HOUSING PROJECT

- PROJECT NAME

FLOOR & ROOF PLAN

-SCALE

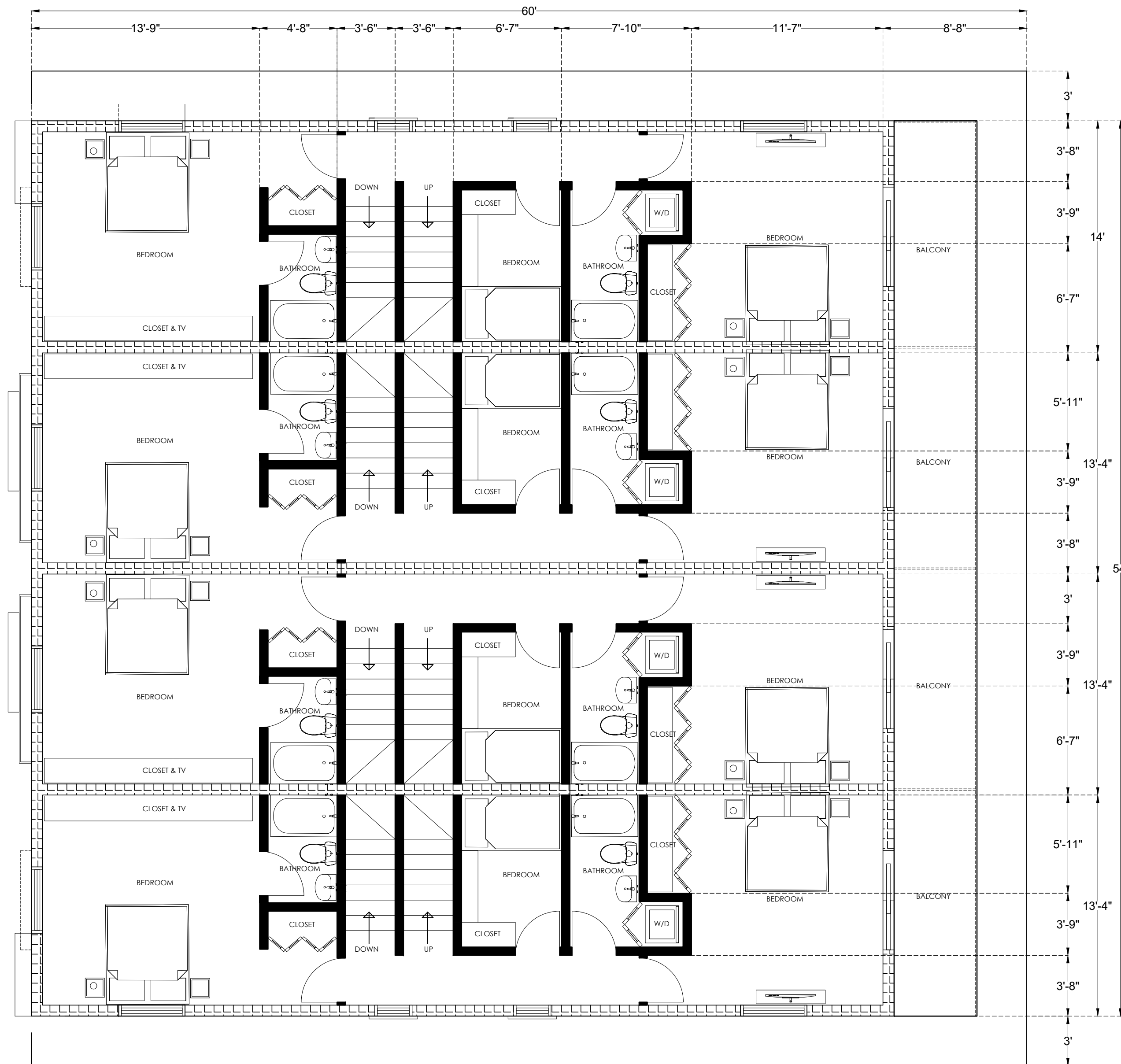
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-DATE

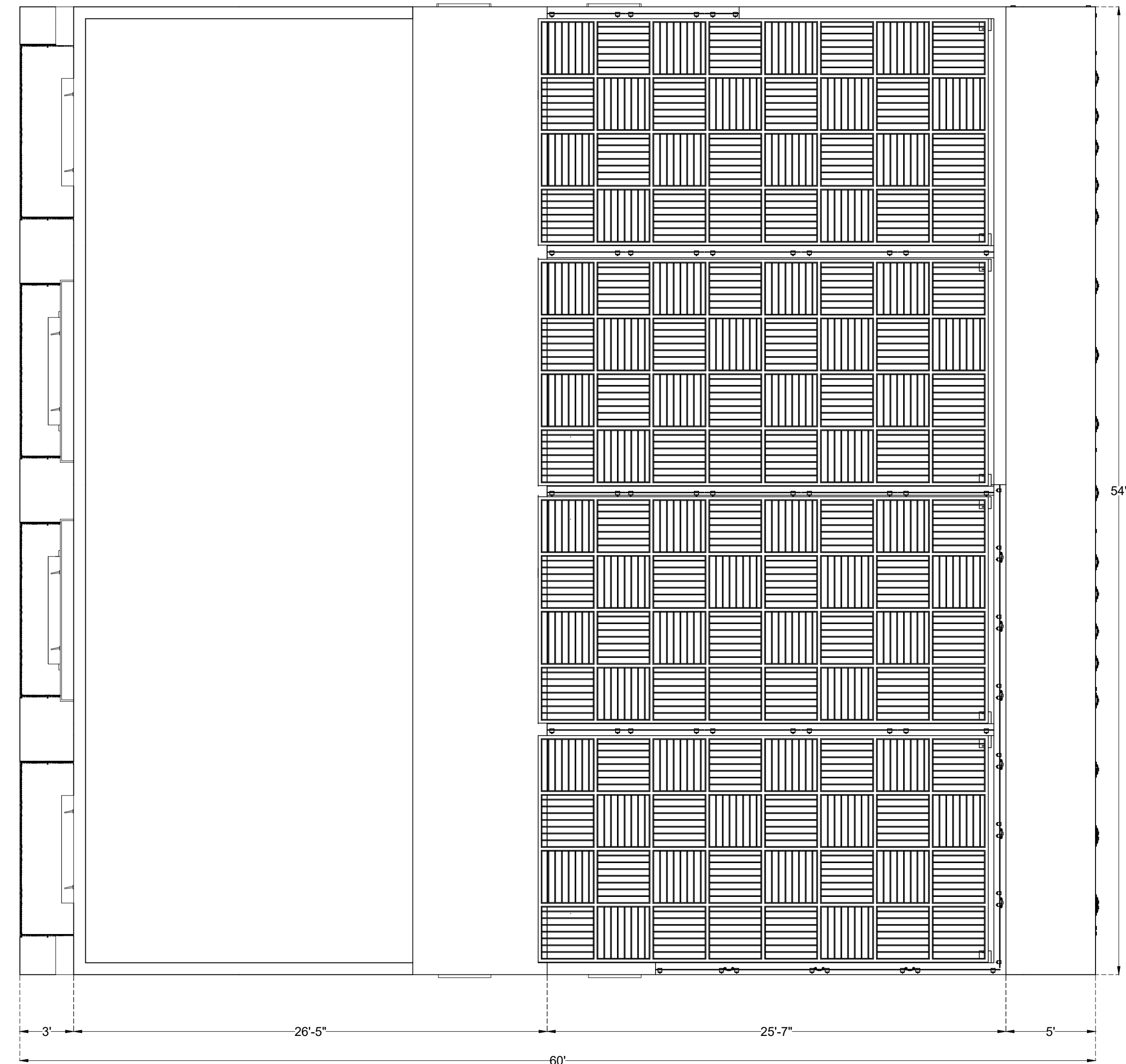
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- DWG. ID

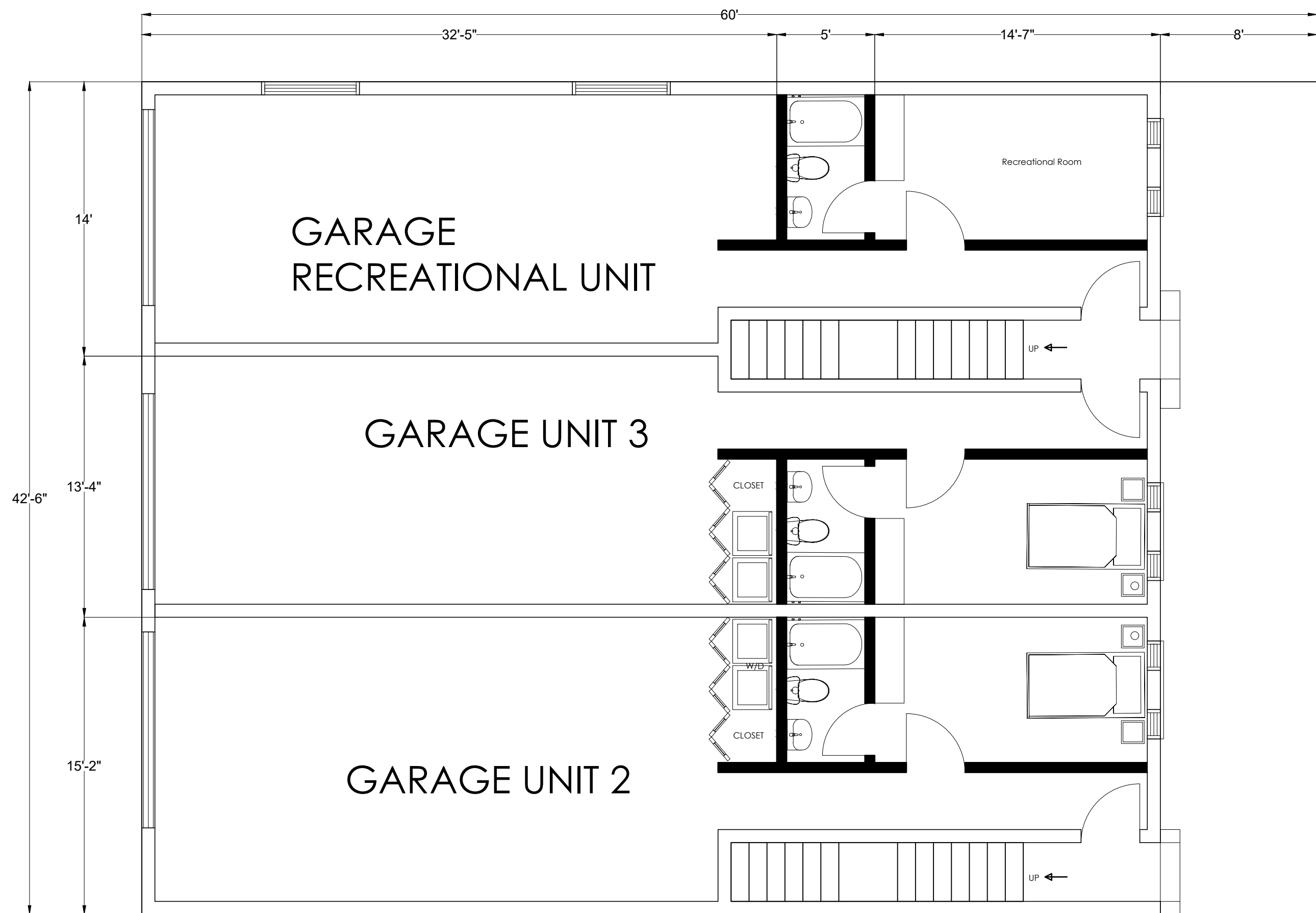
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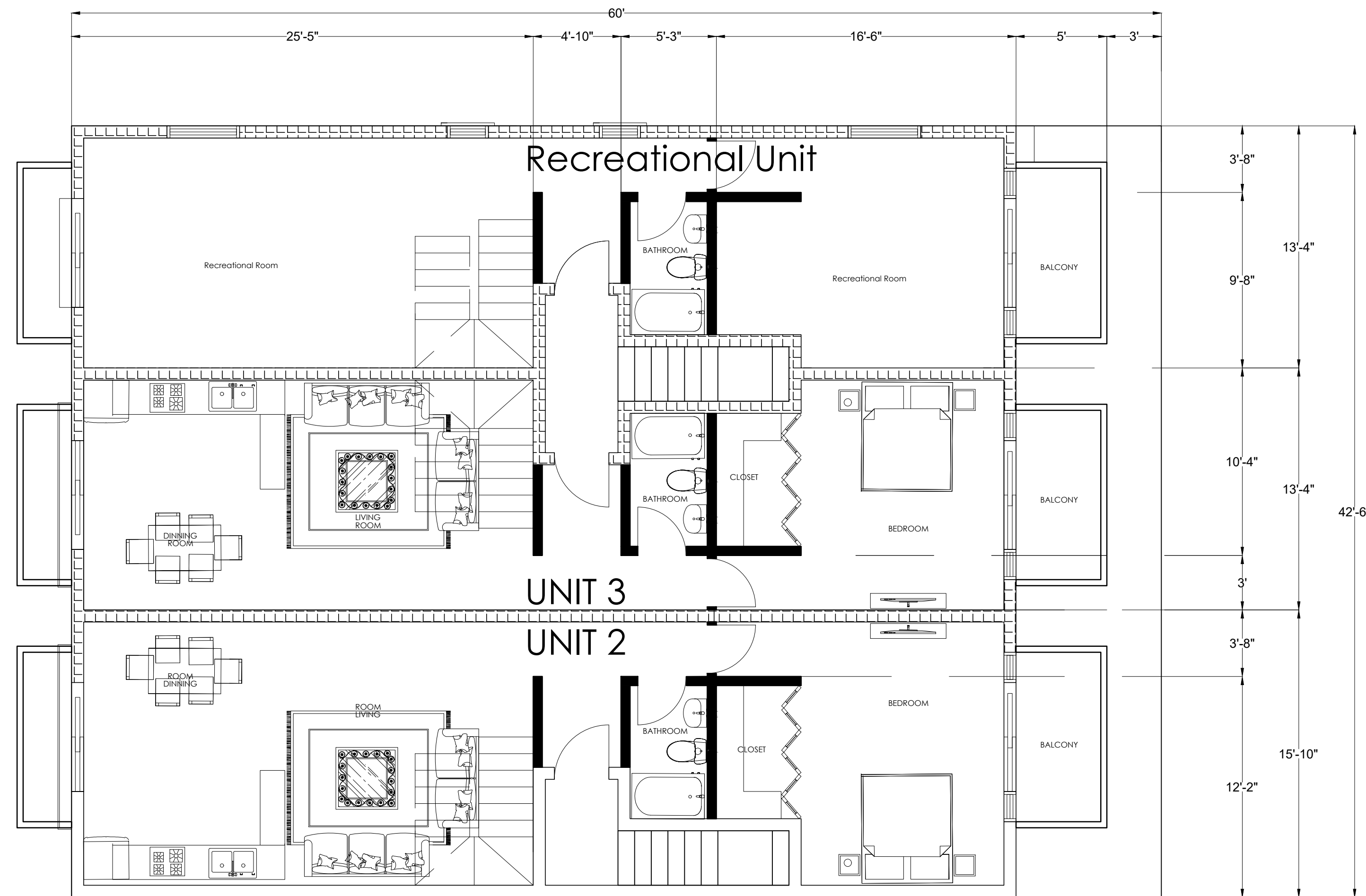
THIRD FLOOR OF FOURPLEX



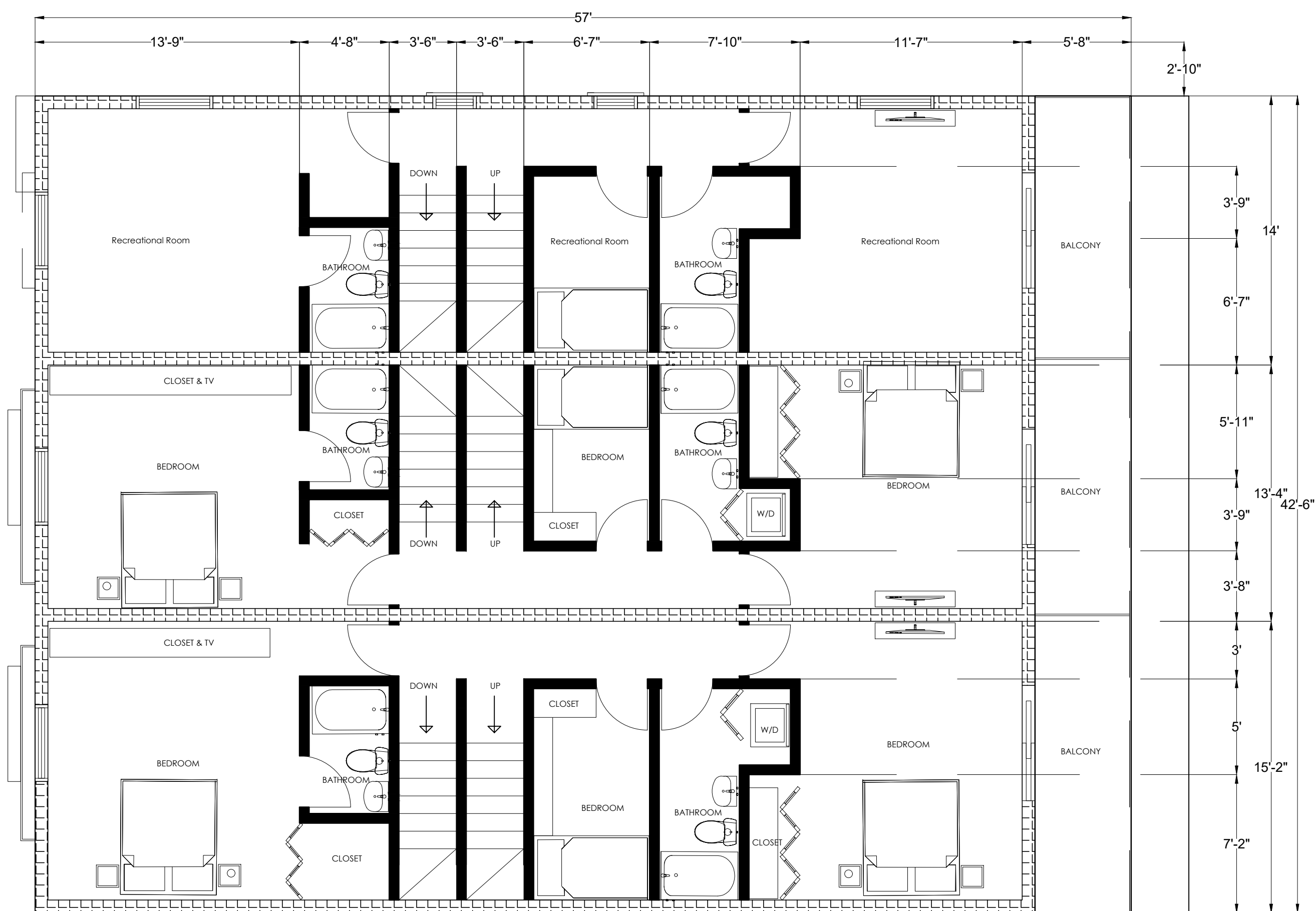
ROOF OF FOURPLEX



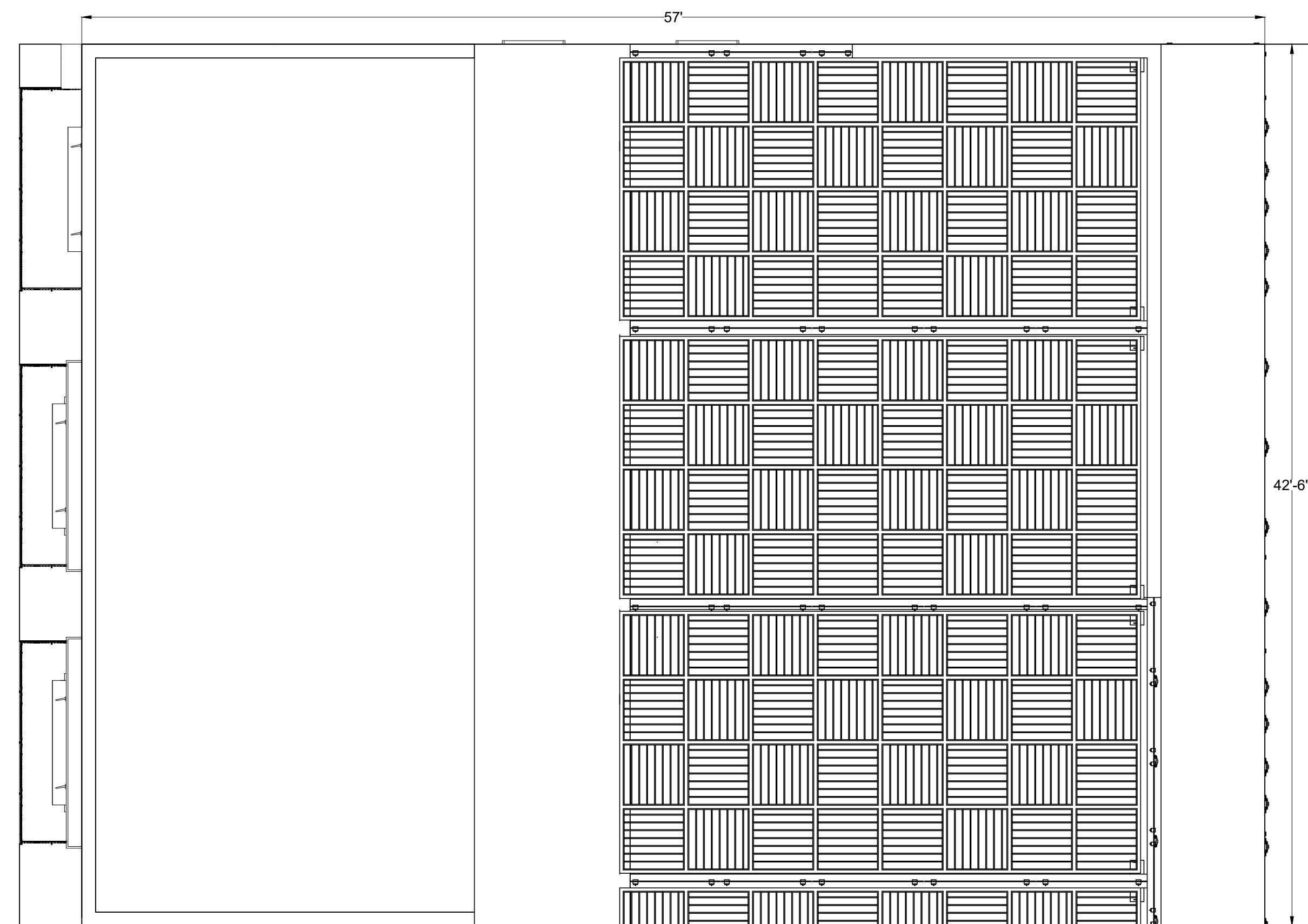
FIRST FLOOR OF TRIPLEX



SECOND FLOOR OF TRIPLEX



THIRD FLOOR OF TRIPLEX



ROOF OF TRIPLEX

**F DESIGN**

BY: FABIOLA BURKE  
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13916 POLK ST SYLMAR, CA 91342

CLIENT  
AKHILESH KUMAR JHA

FABIOLA BURKE

- DESIGNED BY

POLK HOUSING PROJECT

- PROJECT NAME

FLOOR & ROOF PLAN

-SCALE

- DWG. ID

-DATE  
DEC/22

**A4**

PO Box 1624  
Hawthorne,  
CA 90251

- 1. EXTERIOR SMOOTH STUCCO WTHITE COLOR
- 2. PANELING WOOD COLOR LIGHT
- 3. PANELING BLACK COLOR
- 4. WINDOW VINYL WHITE
- 5. BALCONY DOOR, VINYL WHITE
- 6. METAL RAILING, CHARCOAL GREY 42" HIGH
- 7. GLASS RAILING 42" HIGH
- 8. EXTERIOR SMOOTH STUCCO SAND FINISH CREAM

13916 POLK ST SYLMAR, CA 91342

AKHILESH KUMAR JHA

FABIOLA BURKE

- DESIGNED BY

POLK HOUSING PROJECT

- PROJECT NAME

ELEVATION BUILDING

-SCALE  
1/2" = 1'-0"

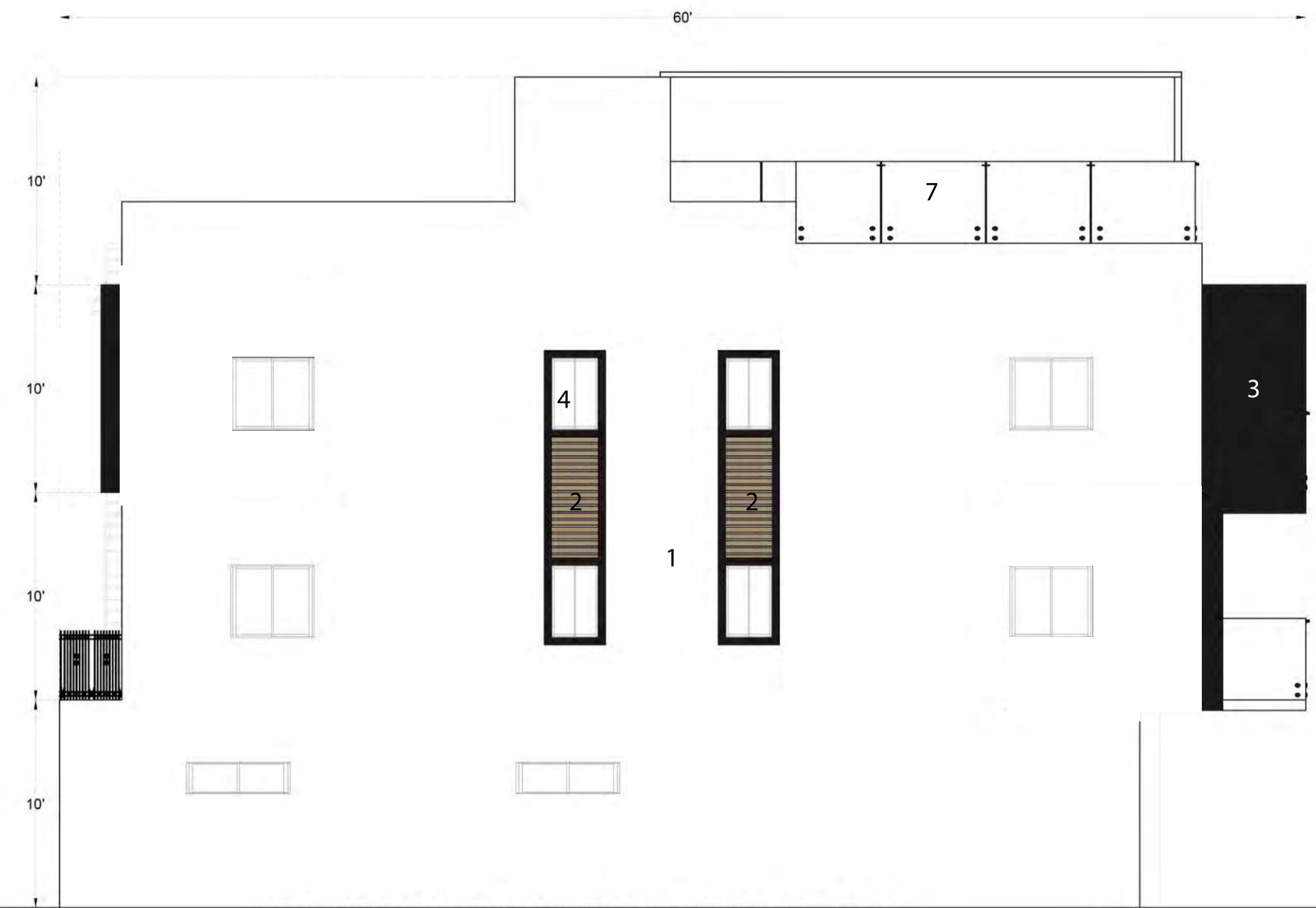
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DEC/22

- DWG. ID

A5



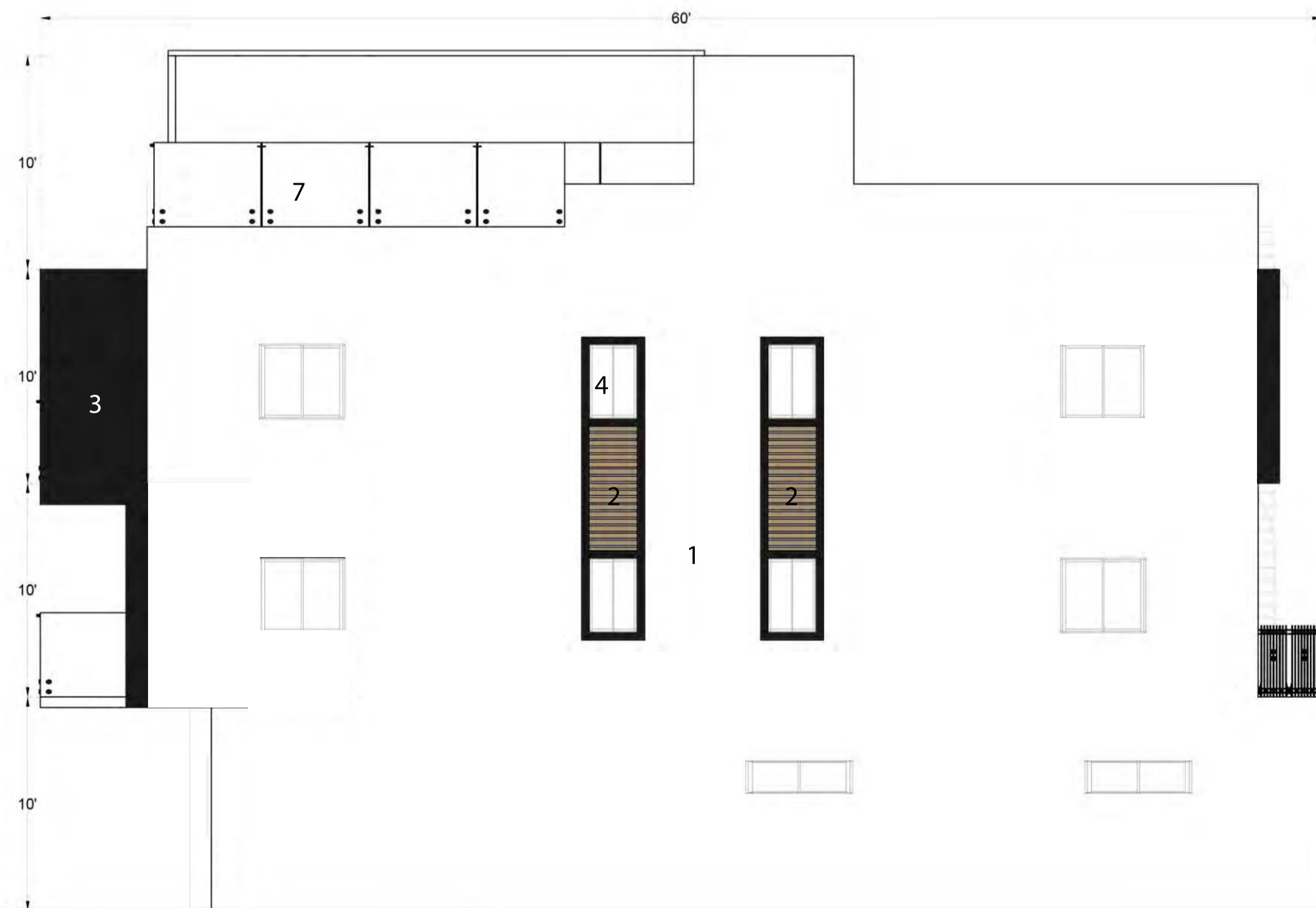
ELEVATION WEST OF FOURPLEX



ELEVATION SOUTH OF FOURPLEX



ELEVATION EAST OF FOURPLEX



ELEVATION NORTH OF FOURPLEX

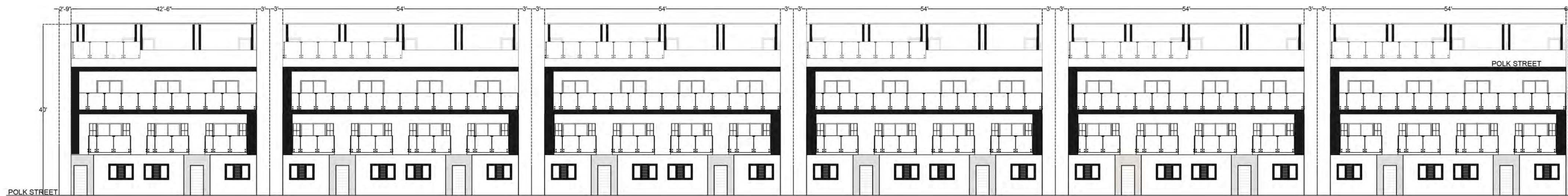
# F DESIGN

BY: FABIOLA BURKE  
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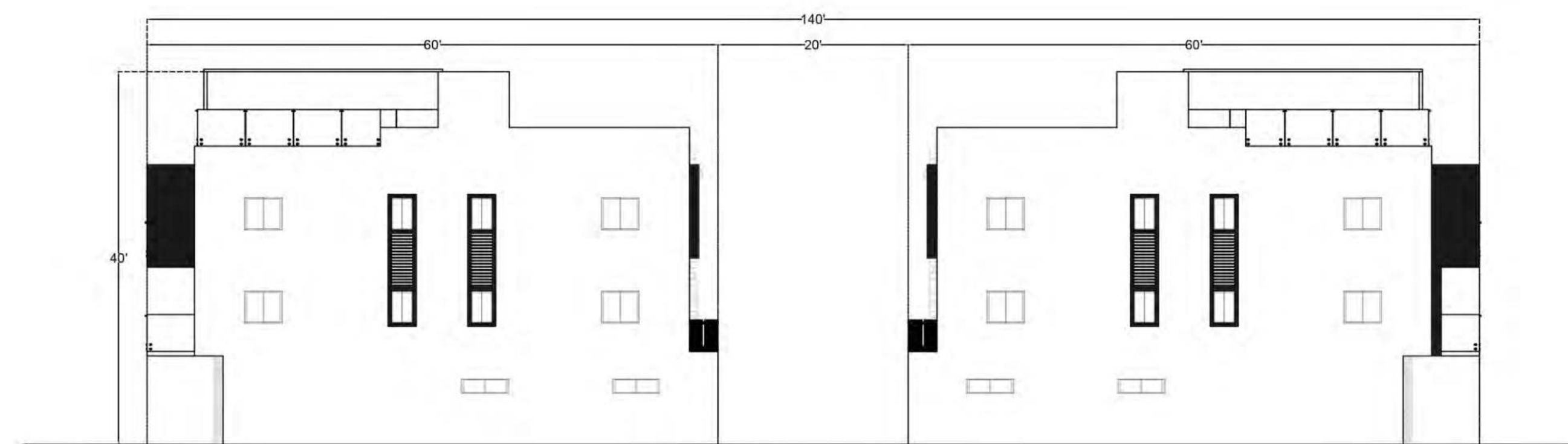
PO Box 1624  
Hawthorne,  
CA 90251



ELEVATION EAST OF FOURPLEX



ELEVATION WEST OF FOURPLEX



ELEVATION SOUTH OF FOURPLEX

13916 POLK ST SYLMAR, CA 91342

CLIENT  
AKHILESH KUMAR JHA

FABIOLA BURKE

- DESIGNED BY

POLK HOUSING PROJECT

- PROJECT NAME

BUILDING ELEVATION (lot)

- DWG. ID

-SCALE  
1/8" = 1'-0"

-DATE  
DEC/22

A6



# F DESIGN

BY: FABIOLA BURKE  
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Hawthorne,  
CA 90251



13916 POLK ST SYLMAR, CA 91342

CLIENT  
AKHILESH KUMAR JHA

FABIOLA BURKE

- DESIGNED BY

POLK HOUSING PROJECT

- PROJECT NAME

SITE PLAN

-SCALE

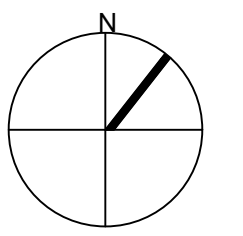
1/2" - 1'-0"

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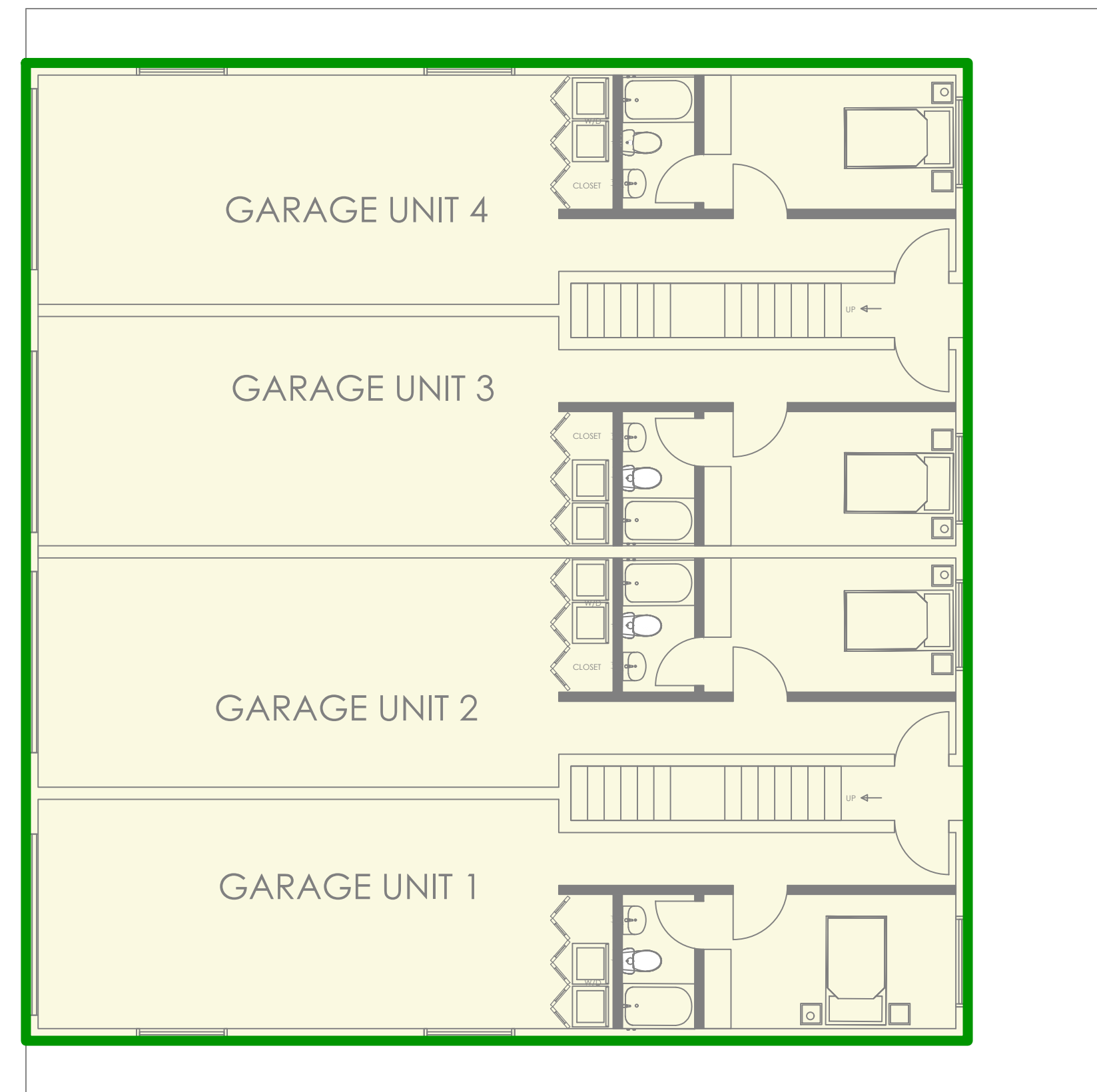
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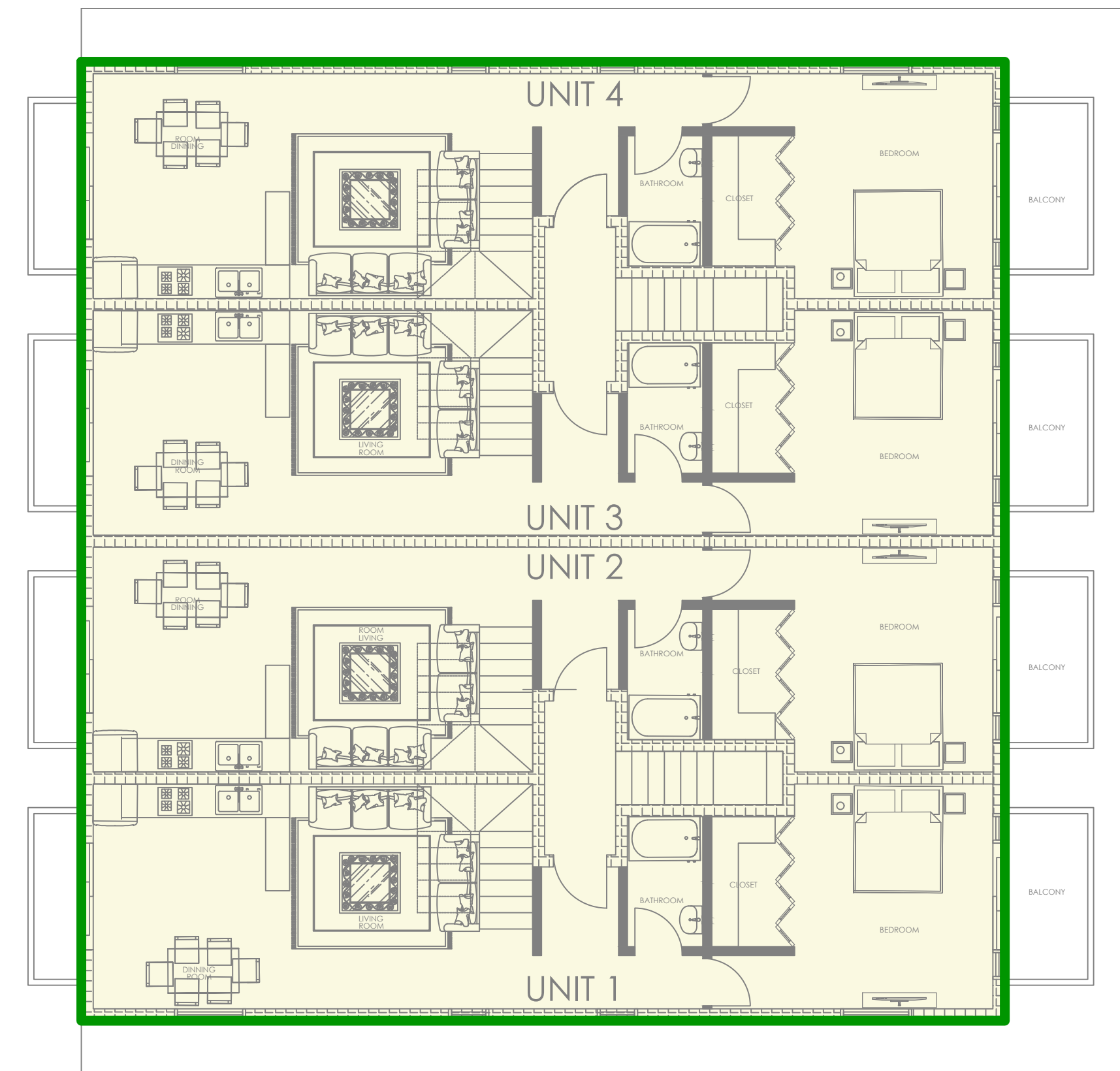
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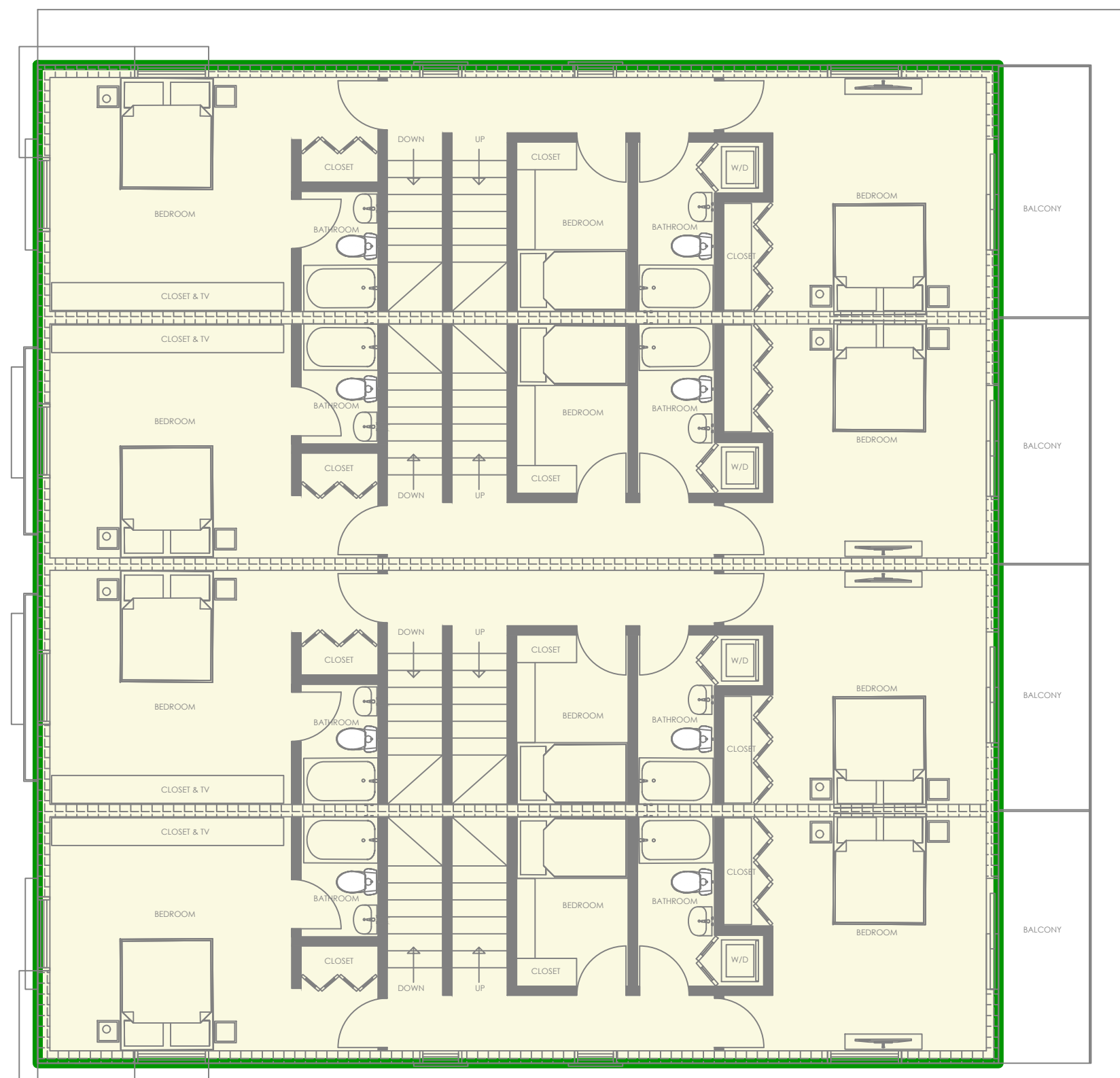
**Building Area Diagram**



LEVEL 1 FOURPLEX BUILDING AREA 2,808 sf



LEVEL 2 FOURPLEX BUILDING AREA 2,808 sf



LEVEL 3 FOURPLEX BUILDING AREA 2,808 sf

Building Area Shaded

**Building Area Analysis**

Building Area Calculation Table

Level	Proposed
Level 1 (2,808 sf x 11.5)	32,292 sf
Level 2 (2,808 sf x 11.5)	32,292 sf
Level 3 (2,808 sf x 11.5)	32,292 sf
<b>Total:</b>	<b>96,876 sf</b>

CLIENT  
AKHILESH KUMAR JHA

FABIOLA BURKE

- DESIGNED BY

POLK HOUSING PROJECT

- PROJECT NAME

BUILDING DIAGRAM & CALCULATION AREA

-SCALE

3/8" = 1'-0"

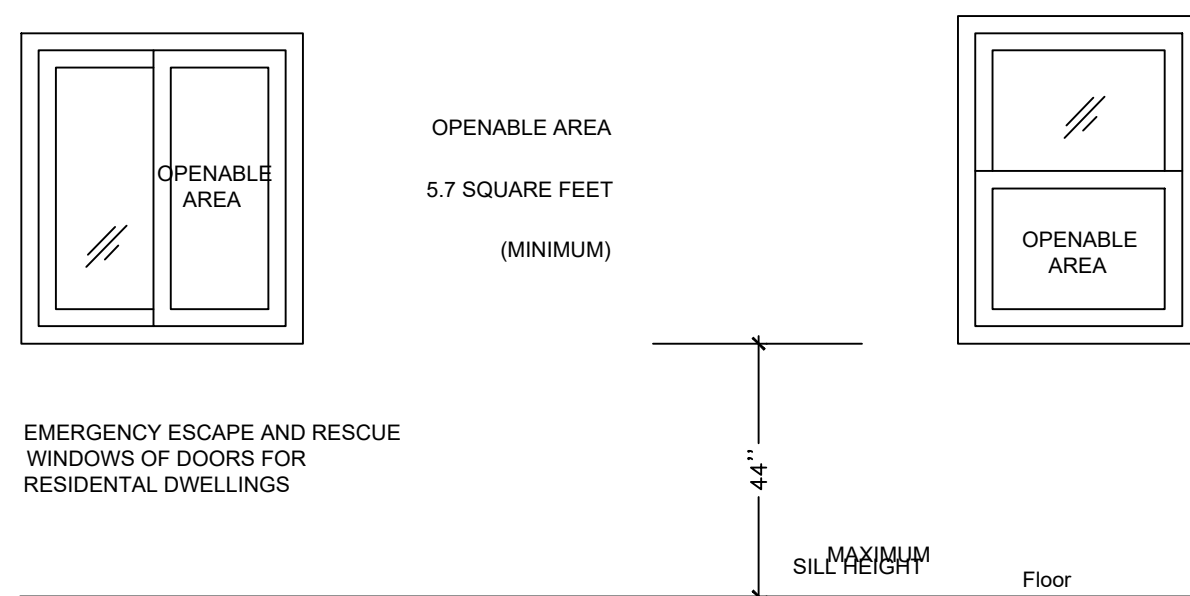
-DATE

DEC/22

- DWG. ID

**B1**

AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR SHALL BE PROVIDED AT BASEMENT AND EVERY SLEEPING ROOM IT DWELLING UNIT.



EMERGENCY ESCAPE AND RESCUE WINDOWS OF DOORS FOR RESIDENTIAL DWELLINGS

EMERGENCY ESCAPE AND RESCUE WINDOWS

- THE MINIMUM NET CLEAR OPENABLE AREA SHALL BE NO LESS THAN 5.7 SQUARE FEET
- THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES
- THE MINIMUM NET CLEAR OPENABLE HEIGHT SHALL BE 24 INCHES
- WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1116mm) ABOVE THE FLOOR
- A WINDOW WITH THE REQUIRED MINIMUM WIDTH 20" AND THE HEIGHT 24" DOES NOT PROVIDE THE REQUIRED OPENABLE AREA OF 5.7 SQUARE FEET
- THE EMERGENCY WINDOW OR DOOR SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THOUSE OF SEPARABLE TOOLS
- THE OPERABLE EMERGENCY WINDOWS OR DOORS SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD OR EXIT COURT
- IT IS THE INTENT OF THE CODE THAT THE WINDOWS USED FOR EMERGENCY ESCAPE OR RESCUE SHALL BE LOCATED ON THE EXTERIOR OF THE BUILDING SO THAT RESCUE CAN BE EFFECTED FROM THE EXTERIOR

## NOTES FOR SECURITY DOORS (ENTRY DOORS ACCESSIBLE FROM PUBLIC WAY):

- SWINGING WOOD DOORS SHALL BE OF CONSTRUCTION OF ONE OF THE FOLLOWING:
  - WOOD FLUSH TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION
  - HOLLOW CORE DOORS OR DOORS LESS THAN 1 3/8" IN THICKNESS COVERED ON THE INSIDE FACE WITH 16 GAUGE SHEET METAL ATTACHED WITH SCREWS AT 6" ON CENTERS OF PERIMETER OR EQUIVALENT.
  - WOOD PANEL TYPE DOORS WITH PANELS FABRICATED OF LUMBER NOT LESS THAN 9/16" THICKNESS, PROVIDED SHAPED PORTIONS OF THE PANELS ARE NOT LESS THAN 1/4" THICK. INDIVIDUAL PANELS SHALL NOT EXCEED 300 SQ. FT. IN AREA. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICK- NEST WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/5" AND 3" IN WIDTH. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS UNLESS SIZED AS REQUIRED HEREIN FOR STILES AND RAILS EXCEPT MULLIONS NOT OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". CARVED AREAS SHALL HAVE A THICKNESS OF NOT LESS THAN 3/8".
- ALL ENTRY DOORS SHALL BE PROVIDED W/ A DOOR VIEWER, VIEW PORTS, OR VIEWING WINDOWS. SUCH VIEW PORTS OR WINDOWS SHALL BE FULLY TEMPERED GLASS.
- GLAZED OPENING WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2".
- DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PEICE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB.
- ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM THE OUTSIDE THE SECURED AREA WHEN THE DOOR IS CLOSED SHALL HAVE NON-REMOVABLE HINGE PINS. IN ADDITION, THEY SHALL HAVE MINIMUM 1/4" DIAMETER STEEL JAMB STUD WITH 1/4" MINIMUM PROTECTION UNLESS THE HINGES ARE SHAPED TO PREVENT REMOVAL OF THE DOOR IF THE HINGE PINS ARE REMOVED.

- THE STRIKE PLATE FOR LATCHES AND THE HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NOT LESS THAN 2 1/2" IN LENGTH.
- SINGLE SWING DOOR, THE ACTIVE LEAF OF A PAIR OF DOORS, & BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED W/ A DEAD BOLT & DEADLOCKING LATCH. DEAD BOLT & LATCH MAY BE SIDE OF THE DOOR & OPEN ABLE FROM INTERIOR SIDE BY A DEVICE WHICH DOES NOT REQUIRE A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT TO OPERATE.
- DEAD BOLTS SHALL CONTAIN HARDENED INSERTS TO REPEL CUTTING TOOLS. A STRAIGHT DEAD BOLT SHALL HAVE A MINIMUM THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8" INTO THE HOLDING DEVICE RECEIVING PROJECTED BOLT.
- A HOOK-SHAPED OR AN EXPANDING-LUG DEAD BOLT SHALL HAVE A MINIMUM THROW OF 3/4".
- CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS.
- SLIDING DOORS AND WINDOWS SHALL BE EQUIPPED W/ LOCKING DEVICES PROVIDED WITH A DEVICE IN UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION.
- EXTERIOR DOORS SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE THERE SHALL BE A READILY VISIBLE, DURABLE SIGN ON EXIT DOORS STATING " THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS", SIGN SHALL BE IN LETTERS NOT LESS THAN 1 INCH HIGH ON A CONTRASTING BACKGROUND.
- THE EXTERIOR DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THRESHOLD

- DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8" THICK. (R302.5.1)

GLAZING:

- GLAZED OPENING WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" OF THEIR GREATEST DIMENSIONS 91.6720
- GLAZED OPENING WITHIN 18" OF WALKING SURFACE SHALL BE TEMPERED OR LAMINATED GLASS.

HARDWARE NOTES APPLICABLE TO ALL DOORS:

- HINGES USED FOR WOOD DOORS SHALL BE BLABBERING TYPE, STAINLESS STEEL AS MANUF. BY "STANLEY".
- DOOR HANDLES SHALL BE HANDICAP APPROVED & CENTERED BETWEEN 30" - 44" ABOVE FLOOR.

## BUILDING ENVELOPE(SAFETY GLAZING)

Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):

1. Glazing in operable panels of swinging, sliding and bi-fold door assemblies.

2. Glazing in an individual fixed or operable panel adjacent to a door where the top vertical edge is within a 24-inch arc of either vertical edge of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface.

3. Glazing in an individual fixed or operable panel that meets all of the following conditions: iii. Exposed area of an individual pane greater than 9 square feet. iv. Bottom edge less than 18 inches above the floor. v. Top edge greater than 36 inches above the floor. vi. One or more walking surfaces within 36 inches horizontally of the glazing.

4. Glazing in enclosed areas of walls facing hot tubs, whirlpools, saunas, steam showers, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.

5. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.

6. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.

7. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within a 60 inch horizontal arc less than 60 inches egress from the bottom tread nosing (R304.2).

## DOOR & WINDOW SCHEDULE

2868HC		3070SC		8076GD		9076GD	
INTERIOR		EXTERIOR		GARAGE		GARAGE	
SPECIFICATION	SOLID WOOD SINGLE PANEL WOOD FRAME, STAINED FINISH	SPECIFICATION	SOLID WOOD SINGLE PANEL WOOD FRAME, STAINED FINISH	SPECIFICATION	2" BLACK ALUMINUM FRAME ROLL UP DOOR.	SPECIFICATION	2" BLACK ALUMINUM FRAME ROLL UP DOOR.
	COLOR TO BE APPROVED BY THE ARCHITECT		COLOR TO BE APPROVED BY THE ARCHITECT		COLOR TO BE APPROVED BY THE ARCHITECT		COLOR TO BE APPROVED BY THE ARCHITECT
LOCATION	BEDROOMS/BATHROOMS/CLOSETS	LOCATION	ENTRANCE	LOCATION	GARAGE	LOCATION	GARAGE
NUMBER OF SETS	35 SETS	NUMBER OF SETS	4 SETS	NUMBER OF SETS	1 SET	NUMBER OF SETS	2 SETS
REMARKS		REMARKS		REMARKS		REMARKS	

2020AW	2040FX	5020FX	7020FX	7020SL	8020SL	4040SL	10040SL	4070SL	7070SL	2070FX	
U-F SHGC	.30 .21	U-F SHGC	.30 .21	U-F SHGC	.30 .21	U-F SHGC	.30 .21	U-F SHGC	.30 .21	U-F SHGC	.30 .21
MANUFACTURER	MILGUARD OR EQUAL	MANUFACTURER	MILGUARD OR EQUAL	MANUFACTURER	MILGUARD OR EQUAL	MANUFACTURER	MILGUARD OR EQUAL	MANUFACTURER	MILGUARD OR EQUAL	MANUFACTURER	MILGUARD OR EQUAL
SPECIFICATION	FIXED GLASS WINDOWS WITH BLACK ALUM. FRAME	SPECIFICATION	FIXED GLASS WINDOWS WITH BLACK ALUM. FRAME	SPECIFICATION	FIXED GLASS WINDOWS WITH BLACK ALUM. FRAME	SPECIFICATION	SLIDING GLASS WINDOWS WITH BLACK ALUM. FRAME	SPECIFICATION	SLIDING GLASS WINDOWS WITH BLACK ALUM. FRAME	SPECIFICATION	FIXED GLASS WINDOWS WITH BLACK ALUM. FRAME
	COLOR TO BE APPROVED BY THE ARCHITECT		COLOR TO BE APPROVED BY THE ARCHITECT		COLOR TO BE APPROVED BY THE ARCHITECT		COLOR TO BE APPROVED BY THE ARCHITECT		COLOR TO BE APPROVED BY THE ARCHITECT		COLOR TO BE APPROVED BY THE ARCHITECT
LOCATION	BATHROOM	LOCATION	STARWELLS	LOCATION	LIVING	LOCATION	LIVING	LOCATION	BEDROOM, LIVING	LOCATION	LIVING, KITCHEN, STARWELLS
NUMBER OF SETS	24 SETS	NUMBER OF SETS	1 SET	NUMBER OF SETS	2 SETS	NUMBER OF SETS	2 SETS	NUMBER OF SETS	18 SETS	NUMBER OF SETS	7 SETS
REMARKS		REMARKS		REMARKS		REMARKS	EGRESS FOR LIVINGROOM	REMARKS	EGRESS WINDOW	REMARKS	

F DESIGN

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- DESIGNED BY

POLK HOUSING PROJECT

- PROJECT NAME

GENERAL NOTES

-SCALE - DWG. ID

-DATE  
JUNE/22

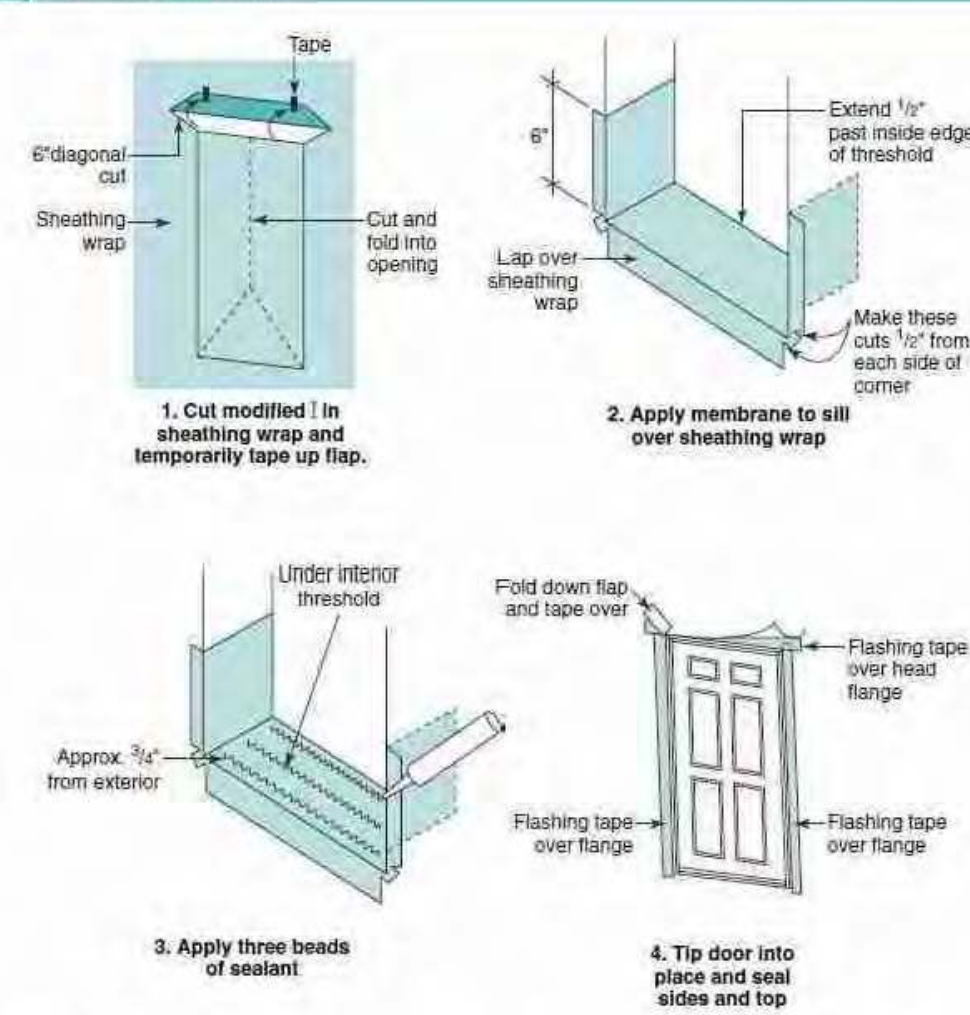
DT1

# Security Requirements (2017 LABC)

1. All entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through view ports in the door or adjoining wall. (6706)
2. Screens, barricades, or fences made of a material which would preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 ft. of the utility pole or access structures. (6707)
3. Wood flush-type doors shall be 1 3/8" thick minimum with solid core construction. (6709.1) Door stops of in-swinging doors shall be of one-piece construction with the jamb, or joined by rabbet to the jamb. (6709.4)
4. Every door in a security opening for an apartment house shall be provided with incandescent light bulb (60 watt min) at a maximum height of 8 feet on the exterior side of the unit. (6708)
5. All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (6709.5, 6709.7)
6. Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Doors must be operable from the inside without a key, special knowledge, or special effort (latch not required in B, F, M and S occupancies). (6709.2)
7. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2)
8. Wood panel type doors must have panels at least 9/16 inch thick with shaped portions of the panels not less than 1/4 inch thick, and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1 3/8 inches and 3 inches in width. (6709.1 item 2)
9. Sliding glass doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removal of the moving panel from the track while in the closed position. (6710)
10. Sliding glass doors shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in Sec. 6717.1
11. Metal or wooden overhead and sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle bolted, hardened steel hasps, metal slide door, bolt or equivalent device unless secured electrically operated. (6711)
12. Provide metal guards at top and bottom of metal accordion grate or grille-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. (6712)
13. In Group B, F, M, and S occupancies, panes of glazing with at least one dimension greater than 6 in. but less than 48 in., shall be constructed of tempered or approved burglary-resistant material or protected with metal bars or grilles. (6714)
14. Glazed openings within 40" of the door lock when the door is in the closed and locked position, shall be fully tempered glass or approved burglary-resistant material, or shall be protected by metal bars, screens or grilles having a maximum opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" in their greatest dimensions. (6713)
15. Louvered windows shall be protected by metal bars or grilles with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry. (6715.3)
16. Other openable windows shall be provided with substantial locking devices. In Group B, F, M and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with minimum 9/32" hardened steel shackles and bolted, hardened steel hasps. (6715.2)
17. Sliding windows shall be provided with locking device in the upper channel of the moving panel to prohibit raising and removal of the moving panel in the closed or partially open position. (6715.1)
18. Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in Sec. 6717.2.
19. Any release for metal bars, grilles, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24 inches from the closest opening through such metal bars, grilles, grates or similar devices that exceeds two inches in any dimension. (6715.4)
- 20 All other openings must be protected by metal bars or grilles with openings of not less than 6 inches in one dimension. (6716)

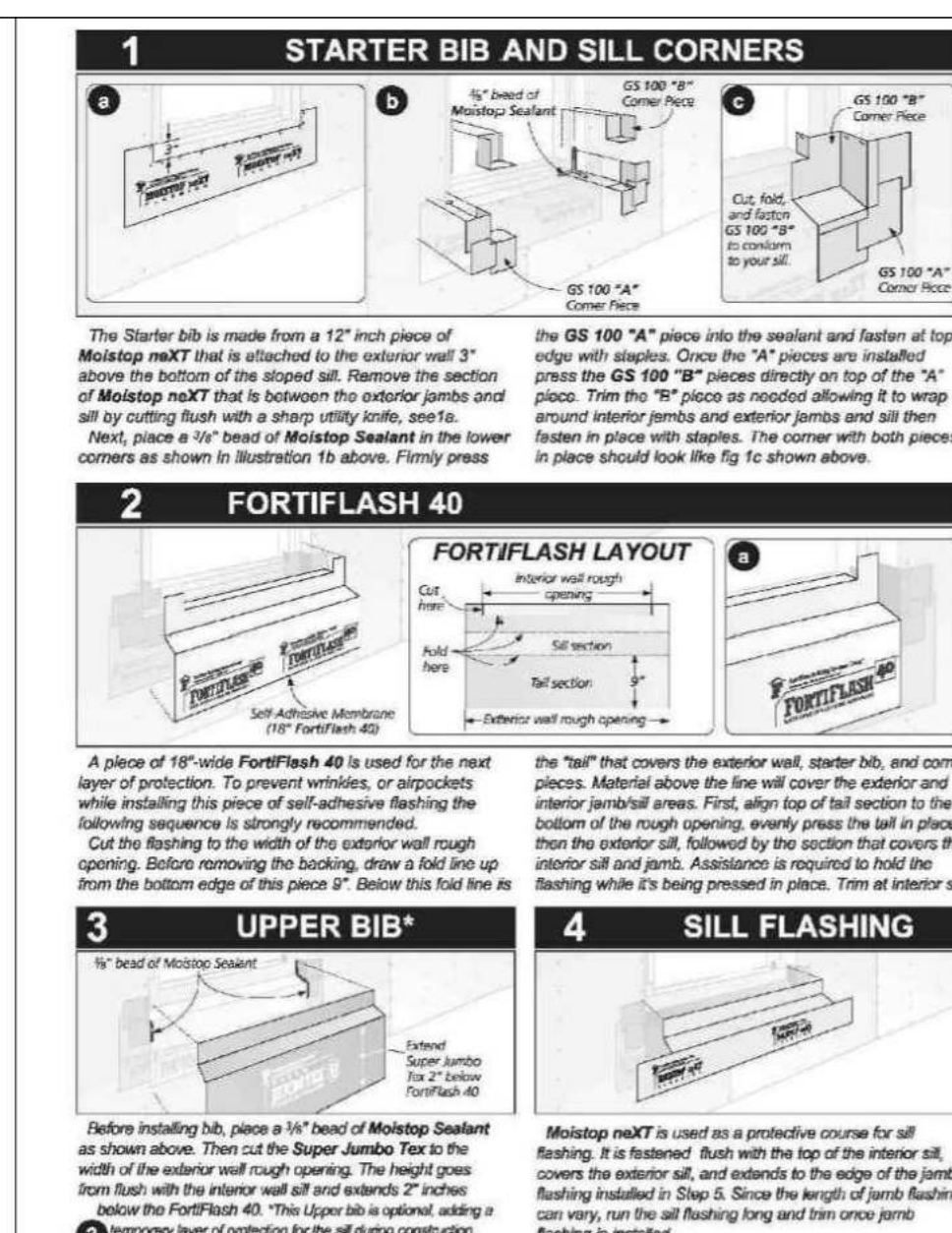
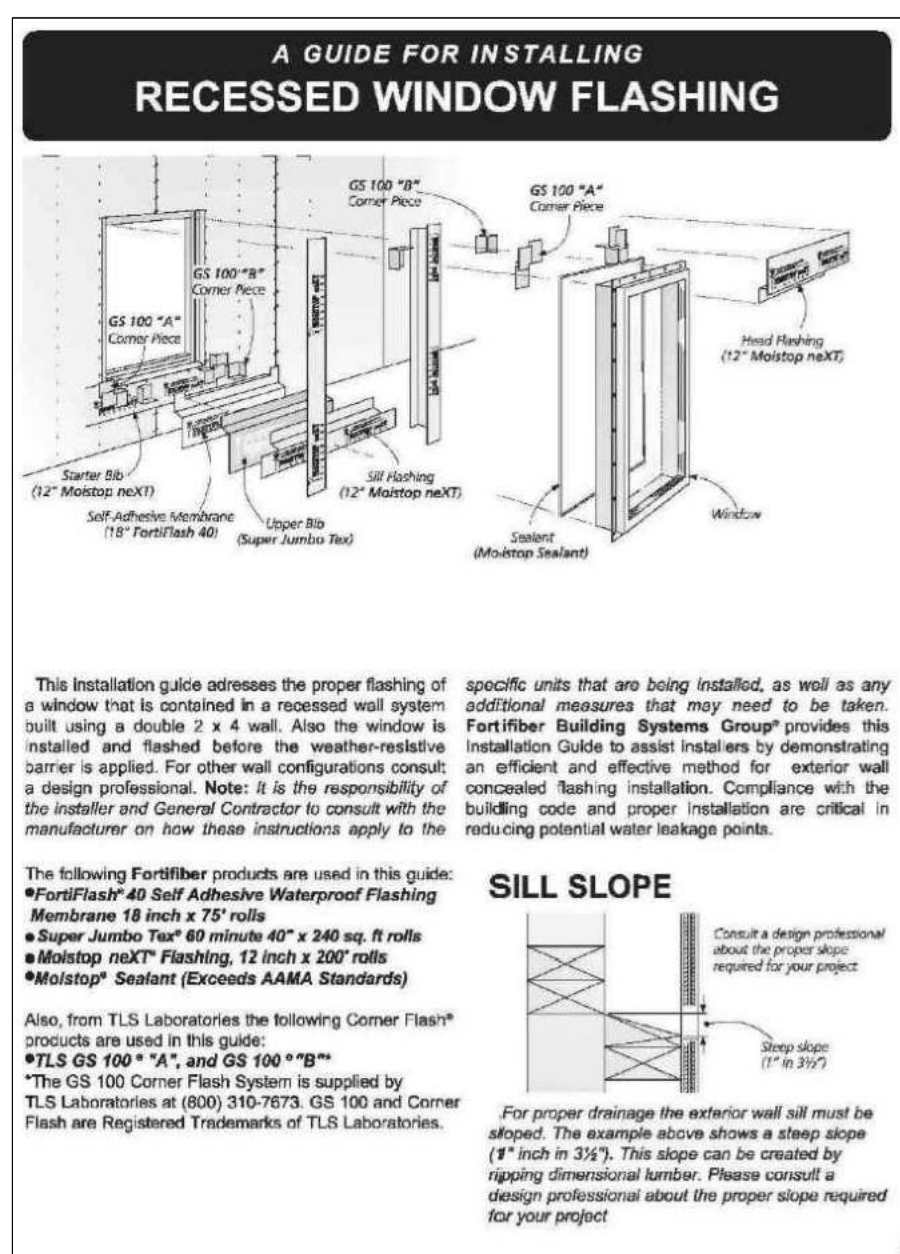
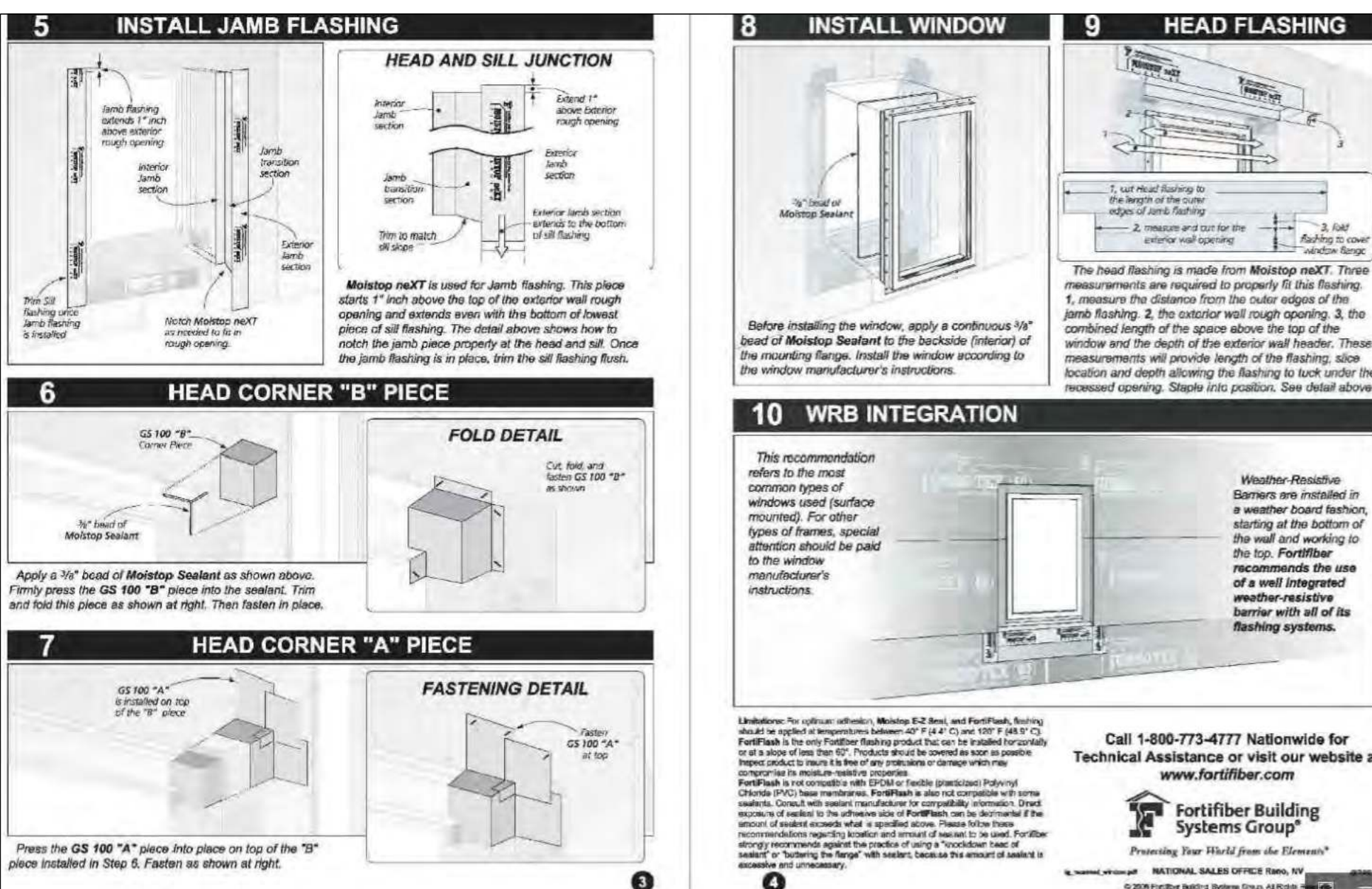
# DOORS & WINDOWS FLASHING

FIGURE 3-26 Flashing at Doors



Whether to use a custom metal pan, an adjustable plastic pan, or a peel-and-stick membrane, as shown, is a matter of personal preference. All pans should have a down on the ends and along the interior edge. If using a flashing membrane, carry it up the side jacks at least six inches. For wide thresholds, two arms of membrane can be used with at least 1/2" overlap.

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# ROOF MATERIAL (ICC #1388) :

**CertainTeed Commercial Roofing**

## Technical Product Data

### FLINTLATIC® GTA-FR COOLSTAR®

**FIRE RESISTANT, APP MODIFIED BITUMEN POLYESTER CAP SHEET WITH HIGHLY REFLECTIVE MINERAL SURFACE**

**Product Application:** Product Use: Flintlastic GTA-FR CoolStar is designed for use as a cap membrane over various types of substrates for both new construction and reroofing installations. It is suitable for most low slope roof applications and may be used for roof system flashings including wall treatments, base flashings and field flashings.

**Limitations:** Flintlastic GTA-FR CoolStar is intended for torch application only and should not be exposed to adhesives or solvent-based materials. Rolls should be stored upright, off ground, completely protected from the weather. Roof decks shall be structurally sound, dry, smooth and meet or exceed minimum requirements of the deck manufacturer, local code and CertainTeed. Additional specifications and precautions are listed in the CertainTeed Commercial Roof Systems Specifications.

**Product Composition and Features:** Flintlastic GTA-FR products are manufactured on state-of-the-art dedicated roofing lines that were exclusively designed for the production of modified bitumen roofing membrane. Flintlastic GTA-FR CoolStar is produced with a high-performance, stress-resistant polyester mat and a superior grade fire-resistant modified bitumen compound.

**Roll Dimensions:** 39 3/8" x 32' 10"

**Nominal Coverage:** One square 136 lbs. per roll

**Aggregate Weight:** Highly reflective CoolStar granules

**Top Surface:** Touchable polyethylene film

**Back Surface:** Touchable polyethylene film

**Applicable Standards:** Meets ASTM D6222, Grade G, Type I, Flintlastic GTA-FR CoolStar is approved by Underwriters Laboratories for use in various Class A, B, and C roof assemblies, ICC (ESR-1388), Factory Mutual, Miami-Dade, Florida Building Code Statewide Approval (FL 2533 and FL 16709) and Texas Department of Insurance (RD-47). Flintlastic GTA-FR CoolStar can be used to comply with the 2015 California Title 24 Part 6 Cool Roof Requirements, CRRC product ID pending. Flintlastic GTA-FR CoolStar is an approved ENERGY STAR® product.

**Modified Bitumen Coating:** Non-oxidized (flu) asphalt, blended with various thermoplastic atactic polypropylene polymers and co-polymers.

**Support Mat:** High-performance, stress-resistant polyester mat.

Test Description	Test Method	Result
Solar Reflectance (SR) Initial/Age	ASTM D7937 Rapid Rating	71%/57%
Solar Reflectance Index (SRI) Initial/Age	ASTM E1980-79	88/82
Sealing Force	ASTM D36	310°F
Tensile Strength	ASTM D6147	80/60 lbs. per in.
	Ø 73.4" x 3.6" MDXX	135/100 lbs. per in.
	Ø 73.4" x 3.6" MDXX	35%/40%
	Ø 73.4" x 3.6" MDXX	20%/22%
	ASTM D6147 MDXX	0.5%/0.3%
	ASTM D6147 MDXX	2507
	ASTM D6147	4.0 mm (156 mils)
	ASTM D6147	14,085 lbs.
	Ø 73.4" x 3.6" MD/XD	14,085 lbs.

\*NOTE: Published results are nominal production values confirmed by independent laboratory testing.

**ICC-ES Evaluation Report**

**ESR-1388**

Revised May 2018

This report is subject to renewal May 2019.

[www.iccs-es.org](http://www.iccs-es.org) | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

**DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION**

**Section: 07 52 00—Modified Bituminous Sheet Roofing**

**REPORT HOLDER:** CERTAINTEED CORPORATION  
20 MOORES ROAD  
MALVERN, PENNSYLVANIA 19355  
(610) 661-6847  
[www.certainteed.com](http://www.certainteed.com)

**EVALUATION SUBJECT:** CERTAINTEED FLINTLATIC MODIFIED BITUMEN ROOFING SYSTEMS

**1.8 EVALUATION SCOPE**

Compliance with the following codes:

- 2015, 2012, 2009 and 2006 International Building Code® (IBC)
- 2015, 2012, 2009 and 2006 International Residential Code® (IRC)

**Properties evaluated:**

- Fire classification
- Wind uplift resistance
- Physical properties
- Impact resistance

**2.0 USES**

The CertainTeed Flintlastic modified bitumen roof covering membranes are used as roof coverings in Class A, B or C roofing roofs.

**3.0 DESCRIPTION**

**3.1 General:** CertainTeed roofing membranes are atactic polypropylene (APP) or styrene butadiene styrene (SBS) modified bitumen membranes complying with ASTM D6222, ASTM D6182, ASTM D6163 or ASTM D6164, as applicable. Roof covering systems utilizing CertainTeed roofing membranes consist of single-ply membranes, base sheets and ply sheets, approved insulation, flashing, asphalt, adhesives, coatings and mechanical fasteners that are installed to produce an integrated roof system.

**3.2 Membranes:**

**3.2.1 Flintlastic FR Cap 30 (Standard or CoolStar):** Flintlastic FR Cap 30 is a 0.138-inch-thick (3.5 mm), granular-surfaced, reinforced, SBS modified bitumen roofing membrane manufactured from a nonwoven polyester fabric impregnated and covered with SBS modified bitumen. The membrane is a Type I, Grade G, membrane complying with ASTM D6164 and intended for torch application only. The membrane weighs approximately 8.5 pounds per square yard (5.4 kg/m²). The membrane is also available as a CoolStar option, which utilizes bright white granules.

**3.2.2 Flintlastic FR-P (Standard or CoolStar):** Flintlastic FR-P is a 0.17-inch-thick (4.3 mm), granular-surfaced, reinforced, SBS modified bitumen roofing membrane manufactured from a nonwoven polyester fabric impregnated and covered with SBS modified bitumen. The membrane is a Type I, Grade G, membrane complying with ASTM D6164 and intended for torch application only. The membrane weighs approximately 8.4 pounds per square yard (4.6 kg/m²). The membrane is also available as a CoolStar option, which utilizes bright white granules.

**3.2.3 Flintlastic Premium FR-P (Standard or CoolStar):** Flintlastic Premium FR-P is a 0.17-inch-thick (4.3 mm), mineral-surfaced, reinforced, SBS modified bitumen roofing membrane manufactured from a nonwoven polyester fabric impregnated and covered with SBS modified bitumen. The membrane is a Type I, Grade G, membrane complying with ASTM D6164 and intended for torch application only. The membrane weighs approximately 8.4 pounds per square yard (4.6 kg/m²). The membrane is also available as a CoolStar option, which utilizes bright white granules.

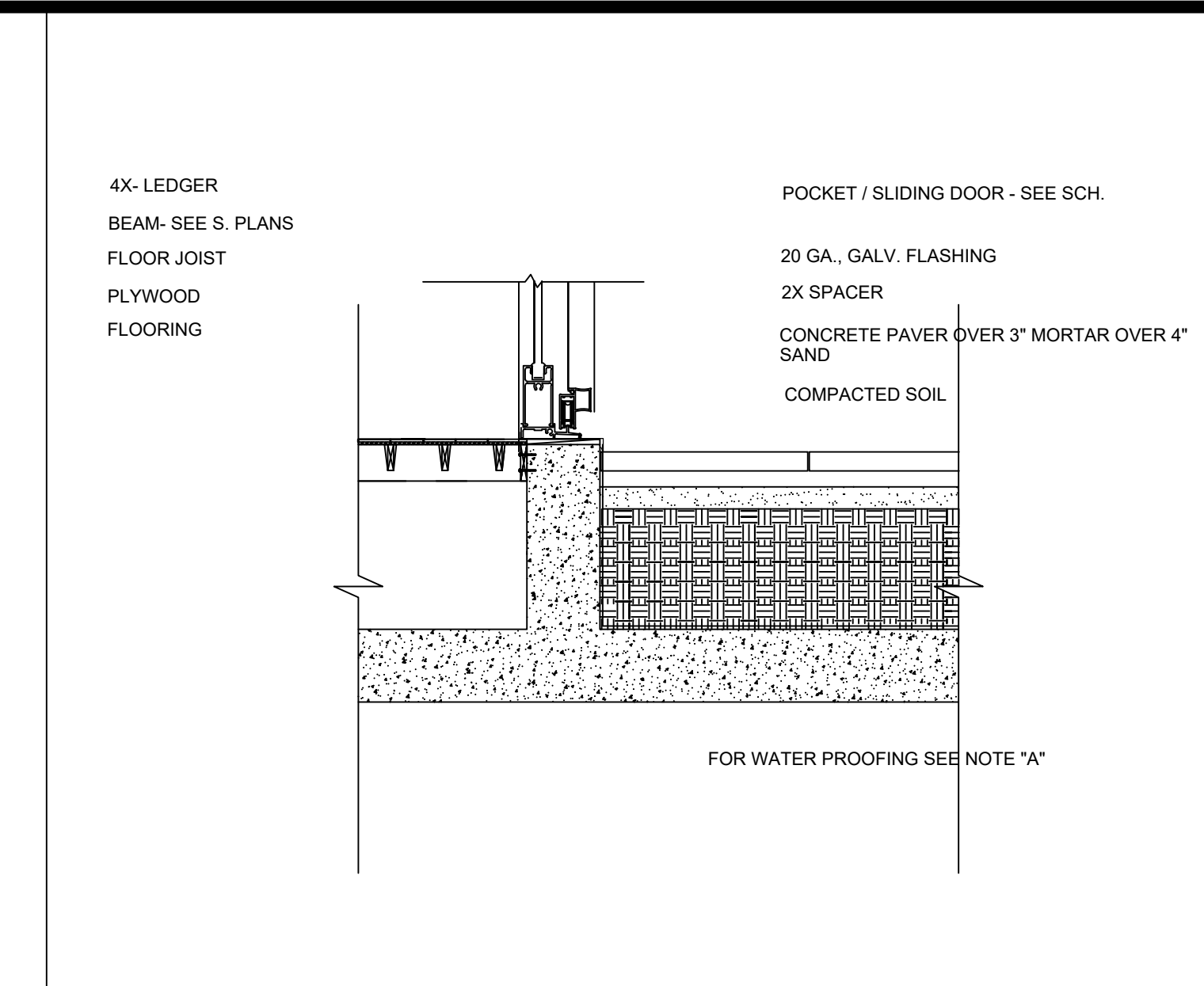
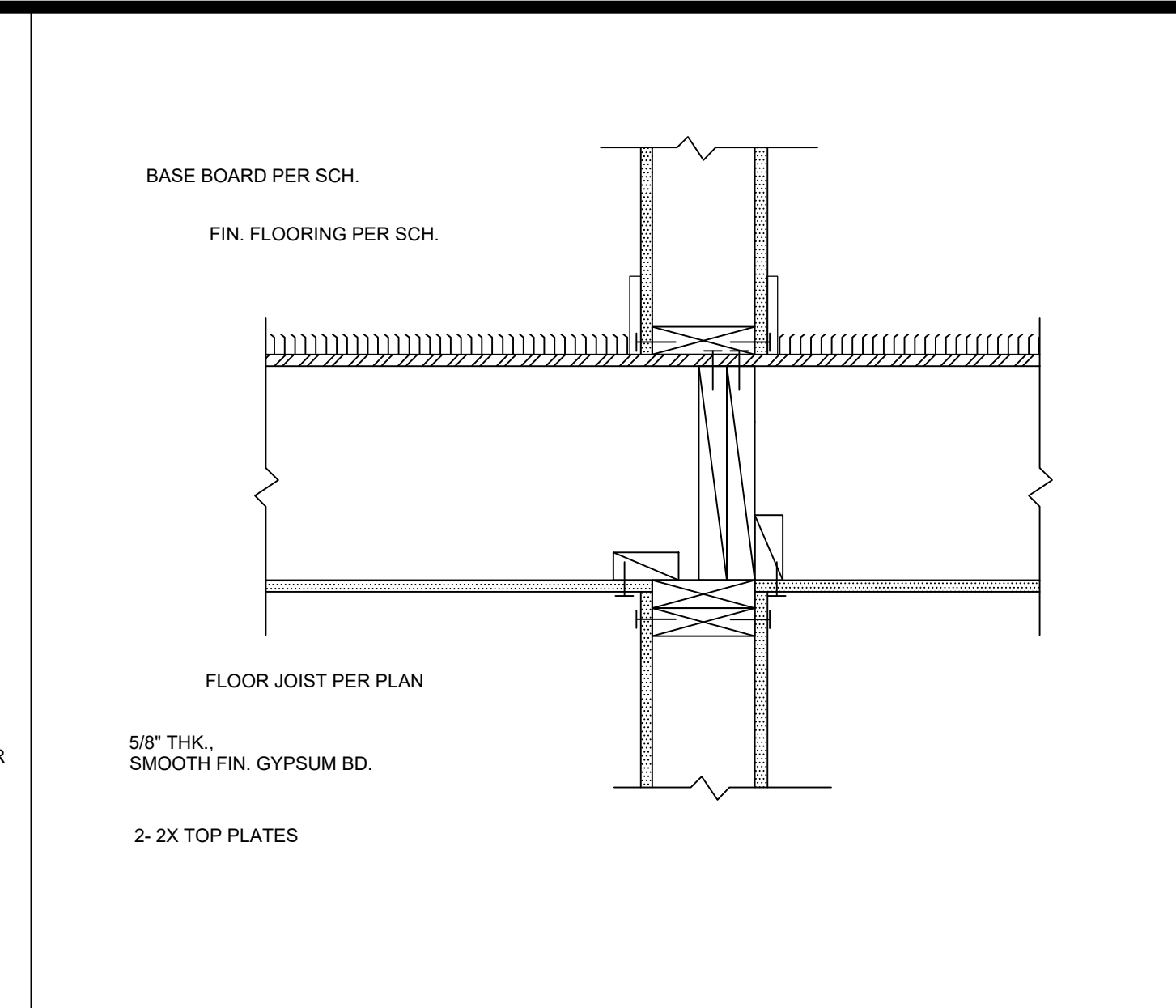
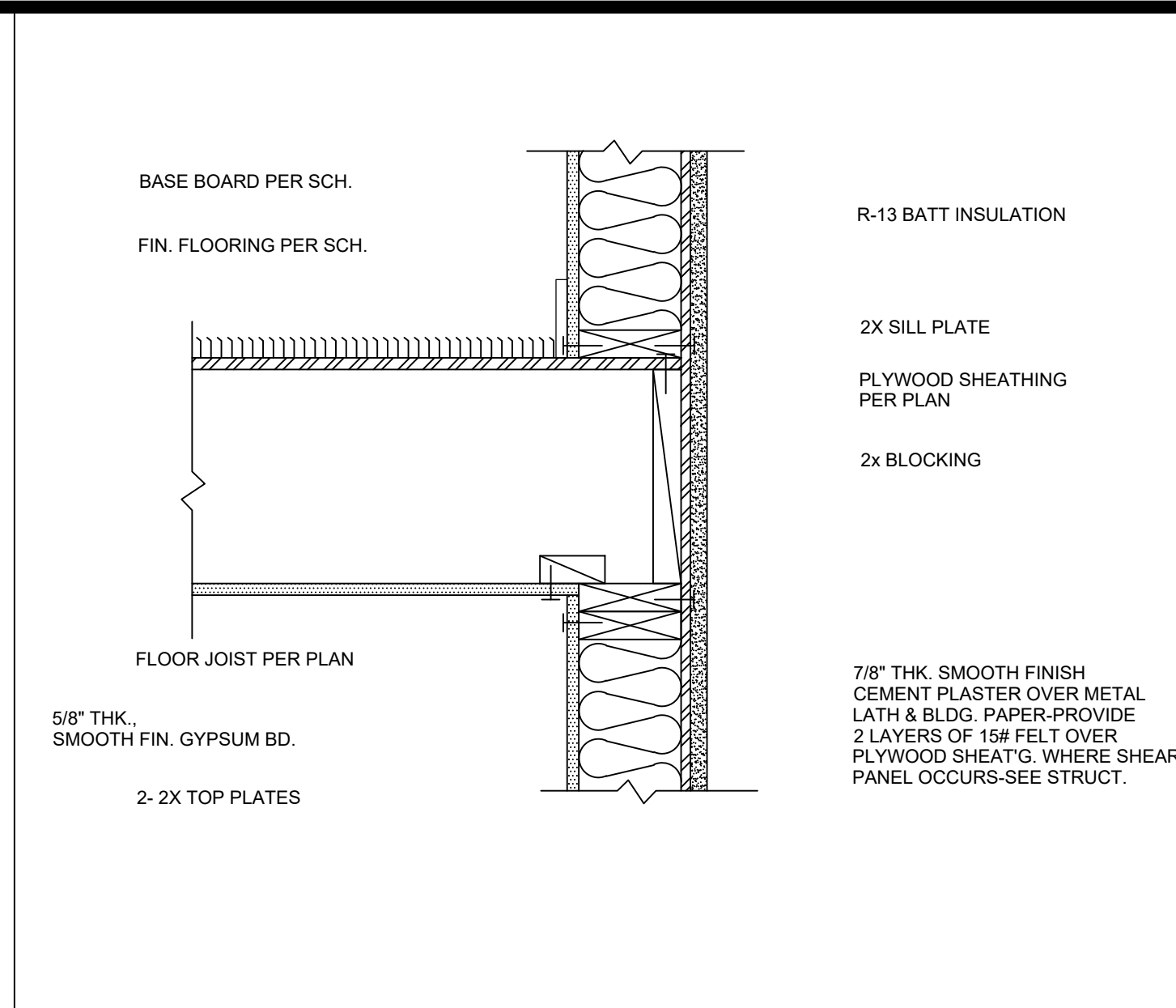
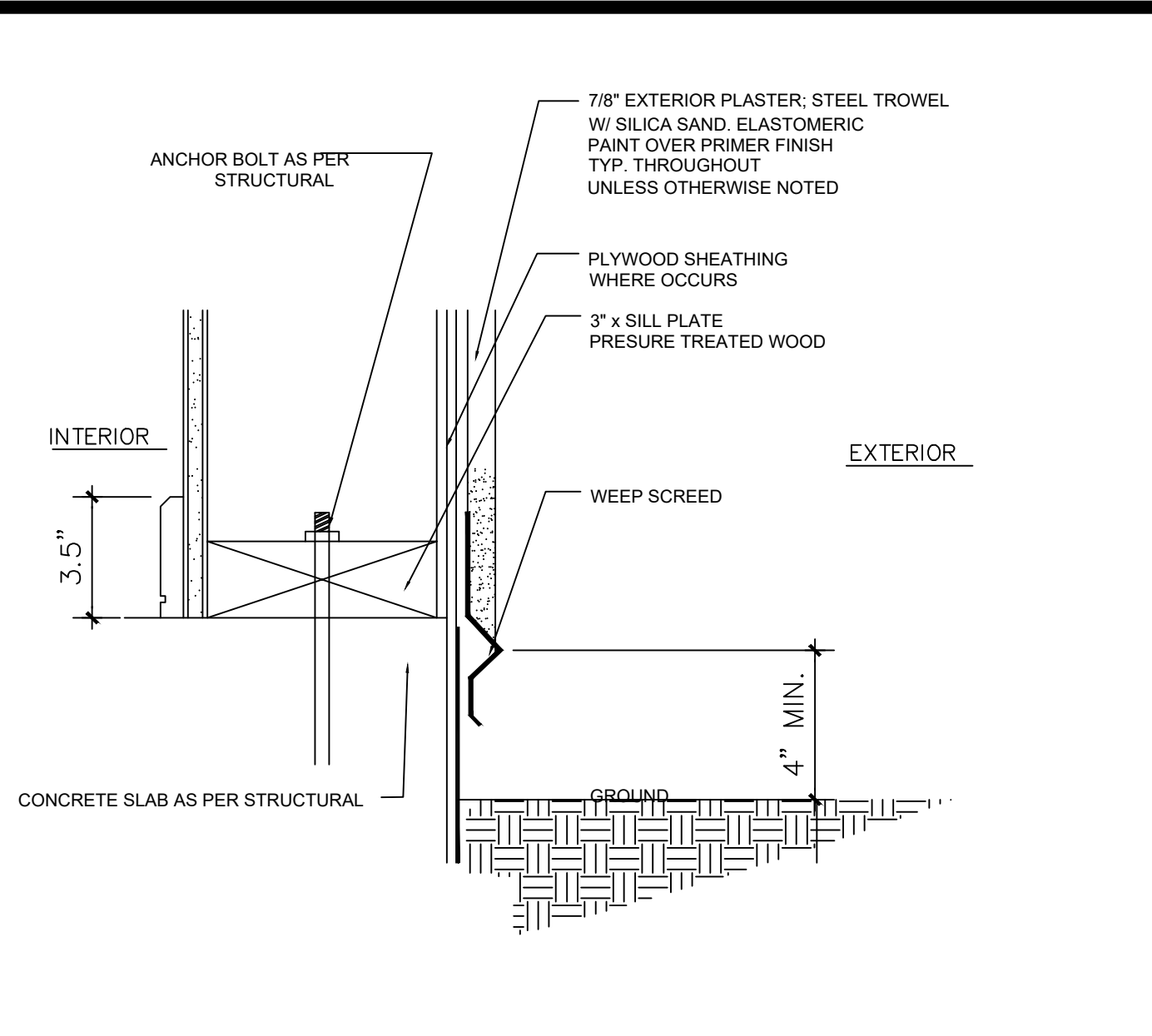
**3.2.4 Flintlastic GTS (Standard or CoolStar):** Flintlastic GTS is a 0.176-inch-thick (4.5 mm), granular-surfaced, reinforced, SBS modified bitumen roofing membrane manufactured from a nonwoven polyester fabric impregnated and covered with SBS modified bitumen. The membrane is a Type I, Grade G, membrane complying with ASTM D6164 and intended for adhesive or hot asphalt application. The membrane weighs approximately 8.0 pounds per square yard (4.4 kg/m²).

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DESIGNER	FABIOLA BURKE	
PROJECT NAME	POLK HOUSING PROJECT	
GENERAL NOTES	- PROJECT NAME	
SCALE	- DWG. ID	
DATE	DT2	
JUNE/22		

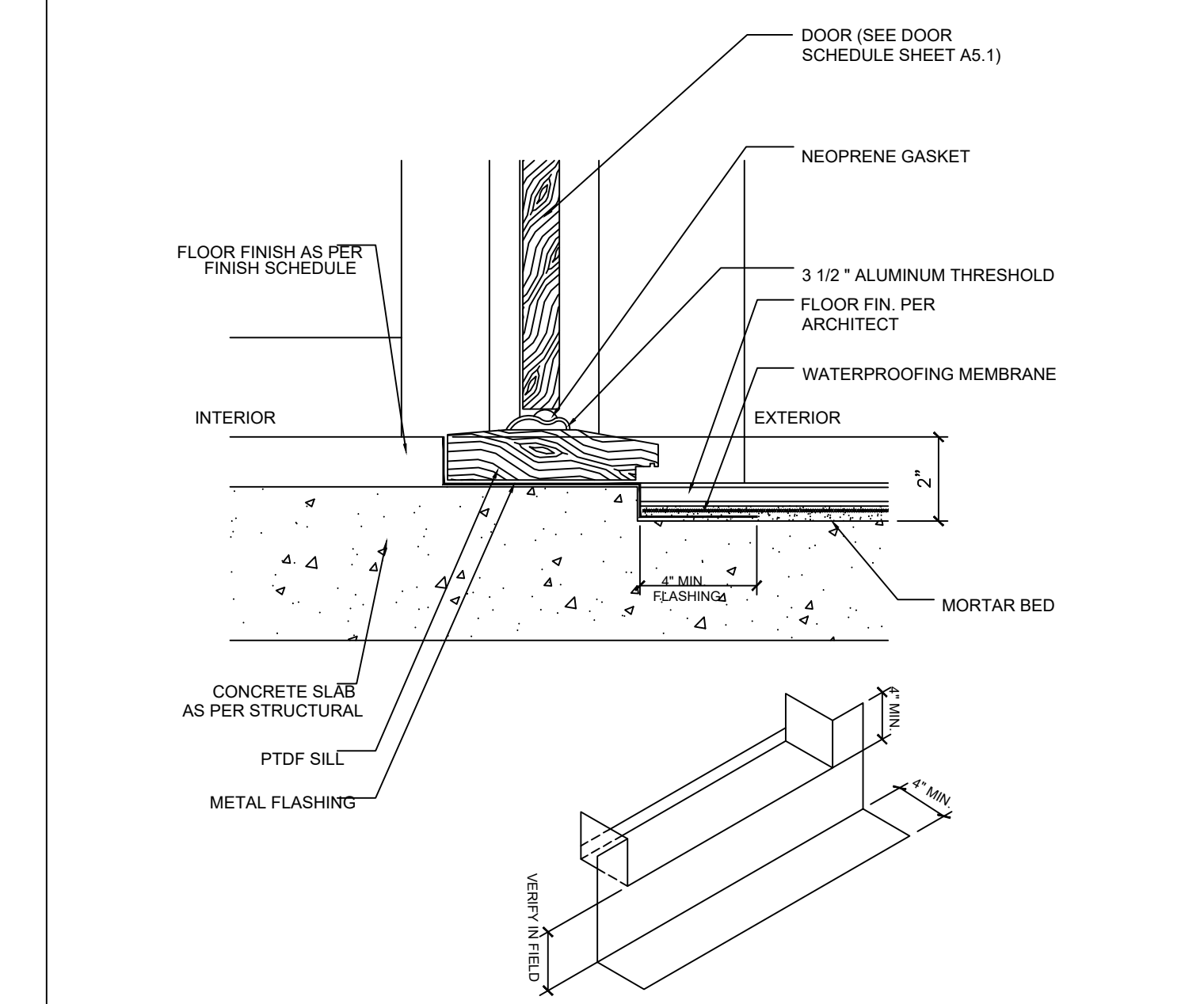
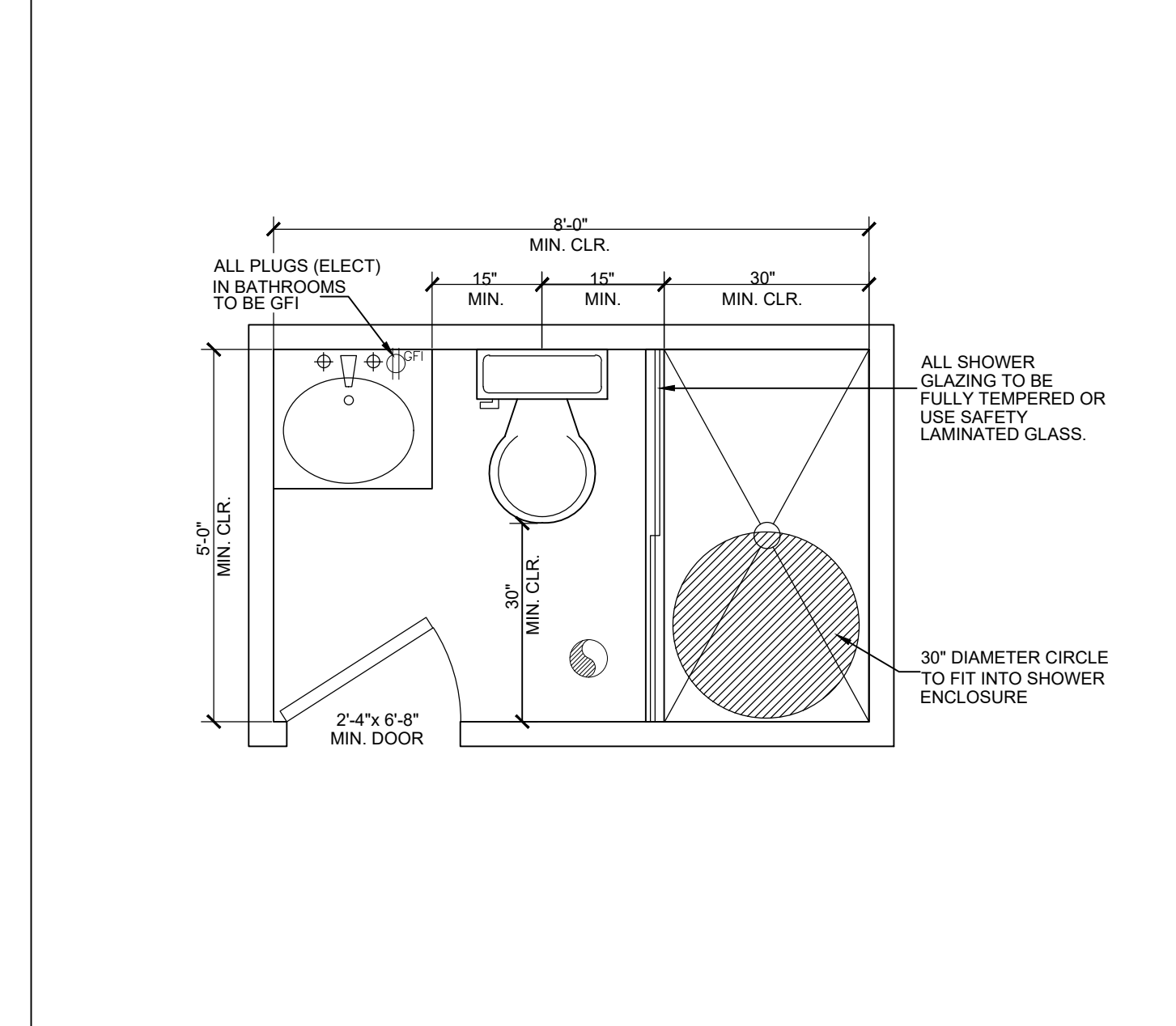
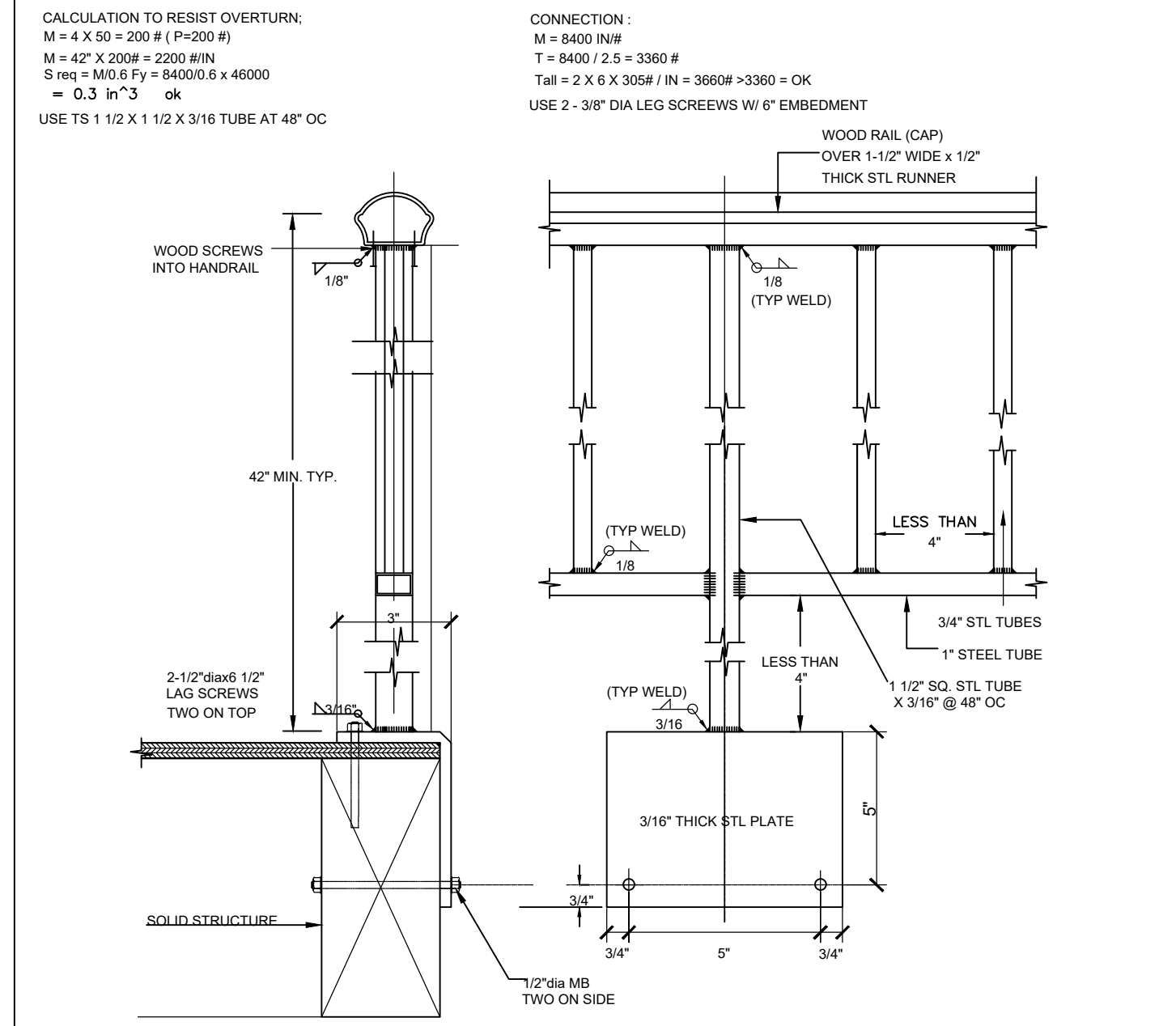
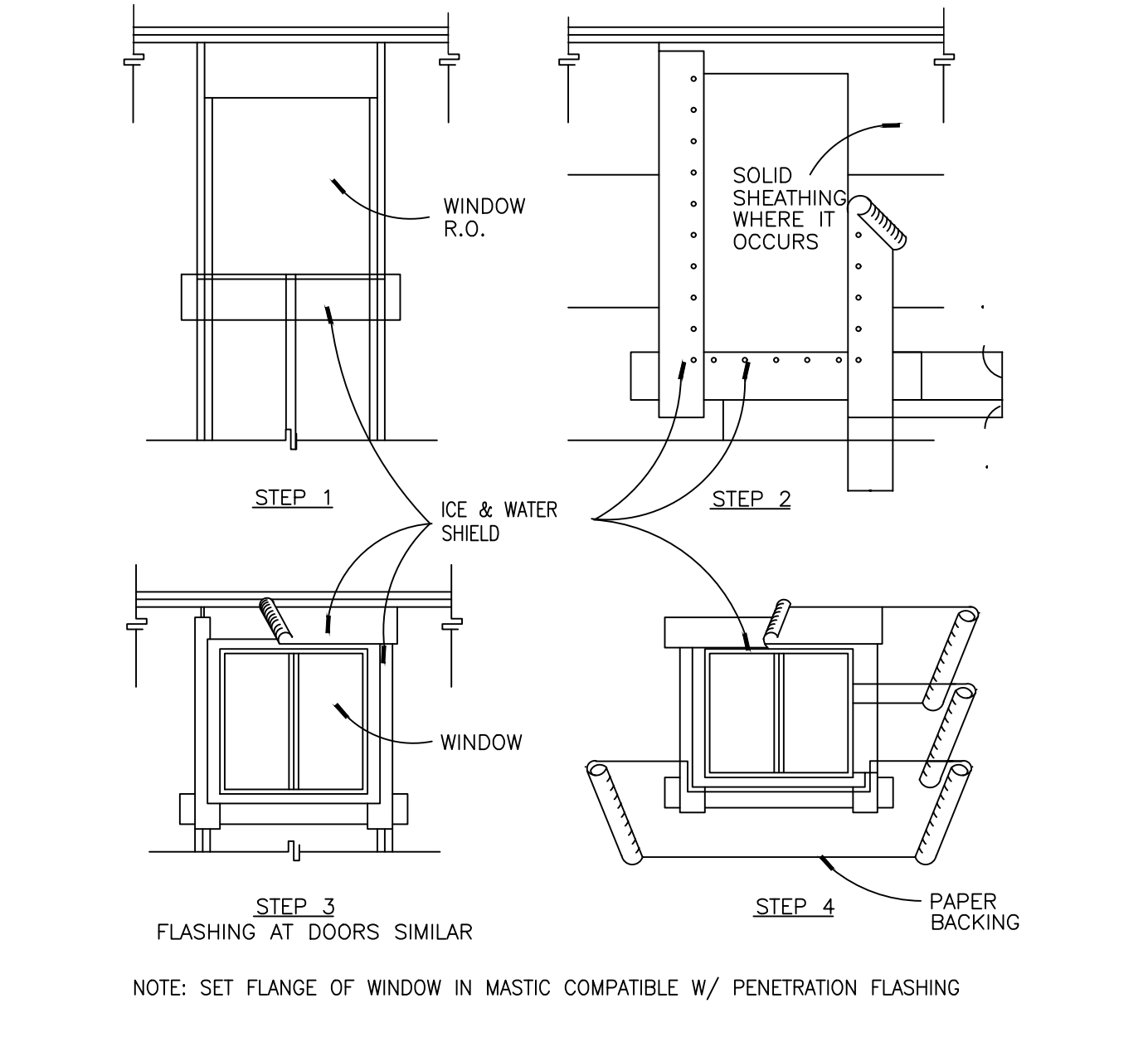


1 WEEP SCREED DETAIL SCALE NTS

2 EXTERIOR WALL AND FLOOR SCALE NTS

3 INTERIOR WALL AND FLOOR SCALE NTS

4 BUILT UP FLOOR SCALE NTS

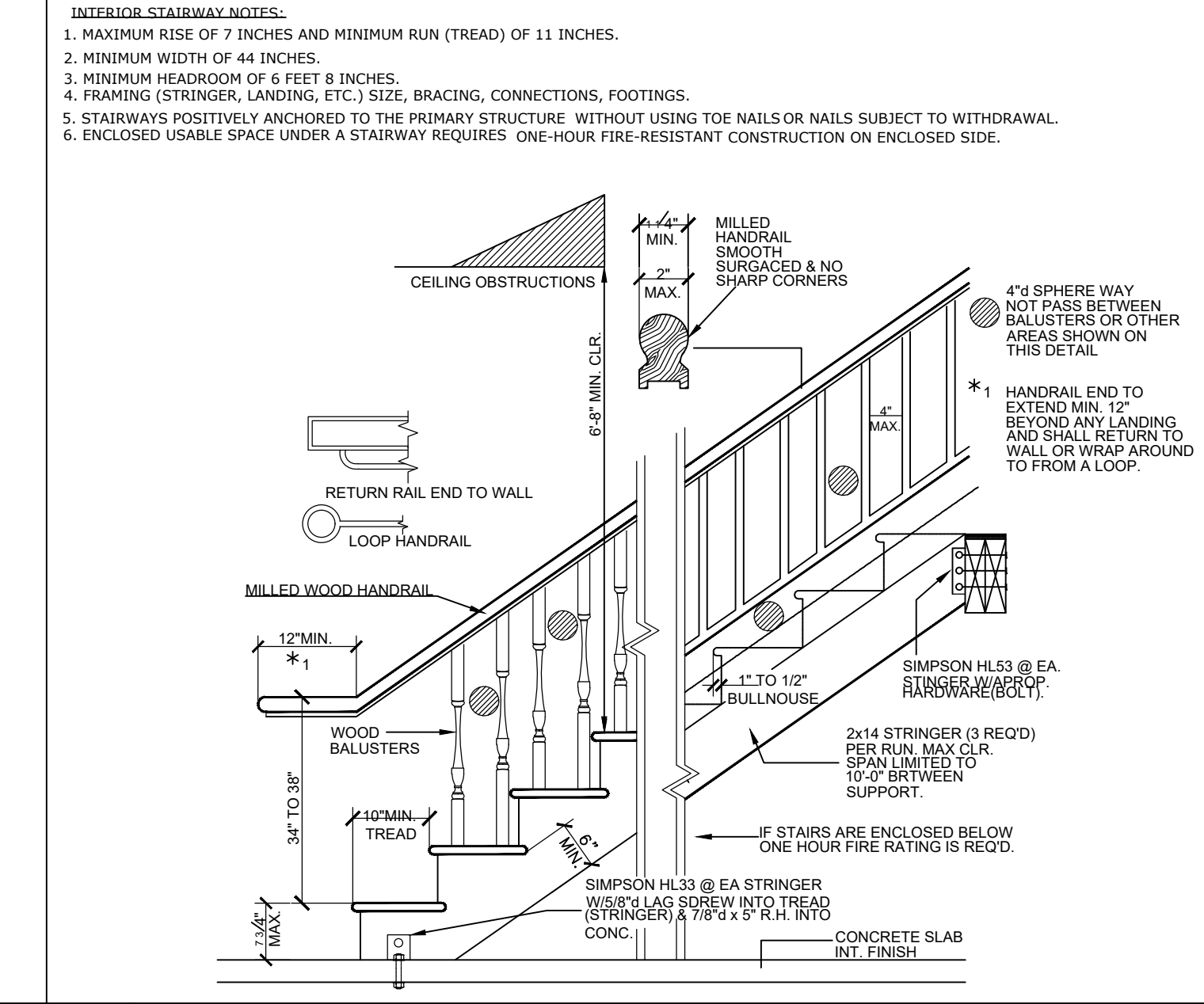
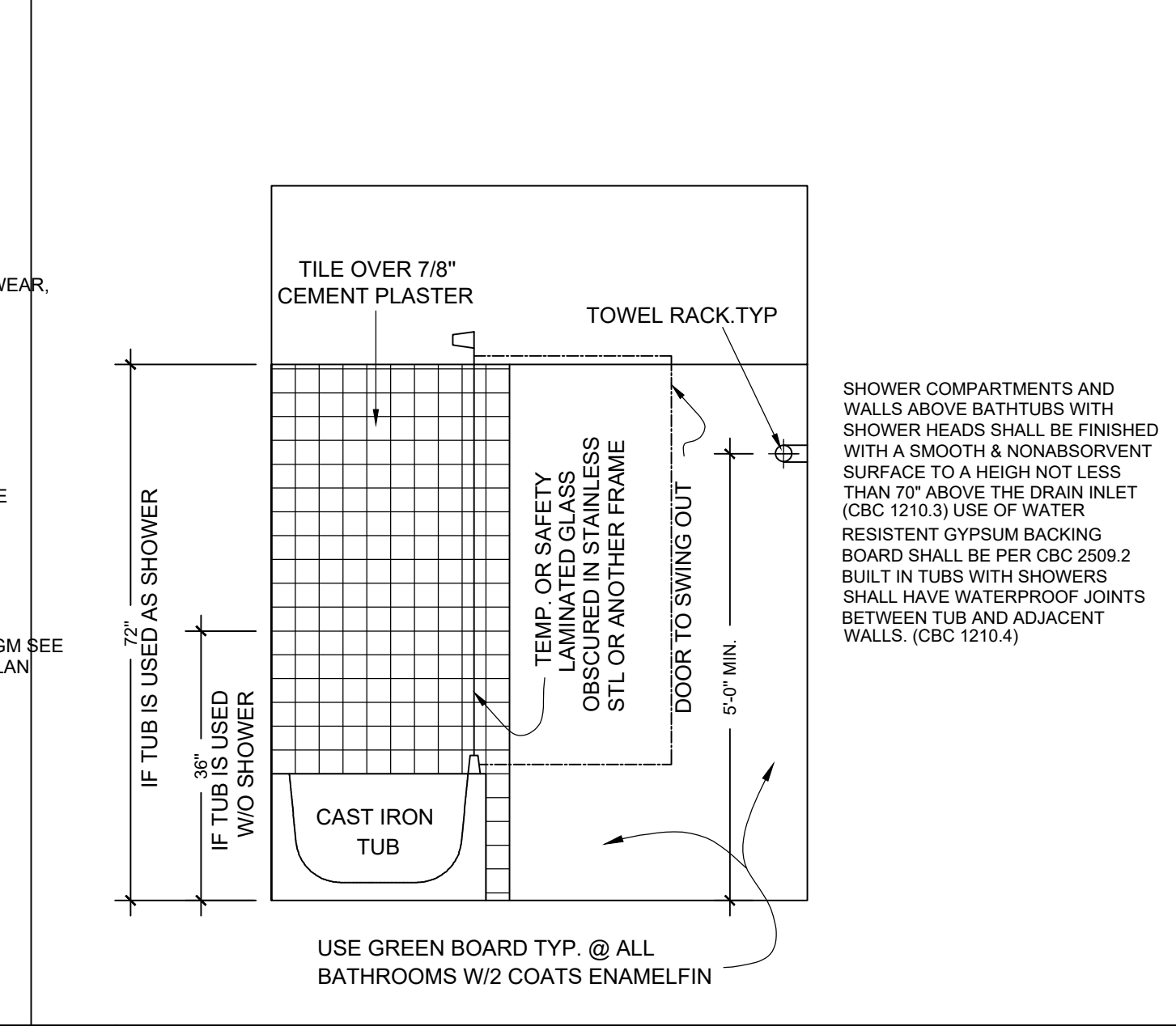
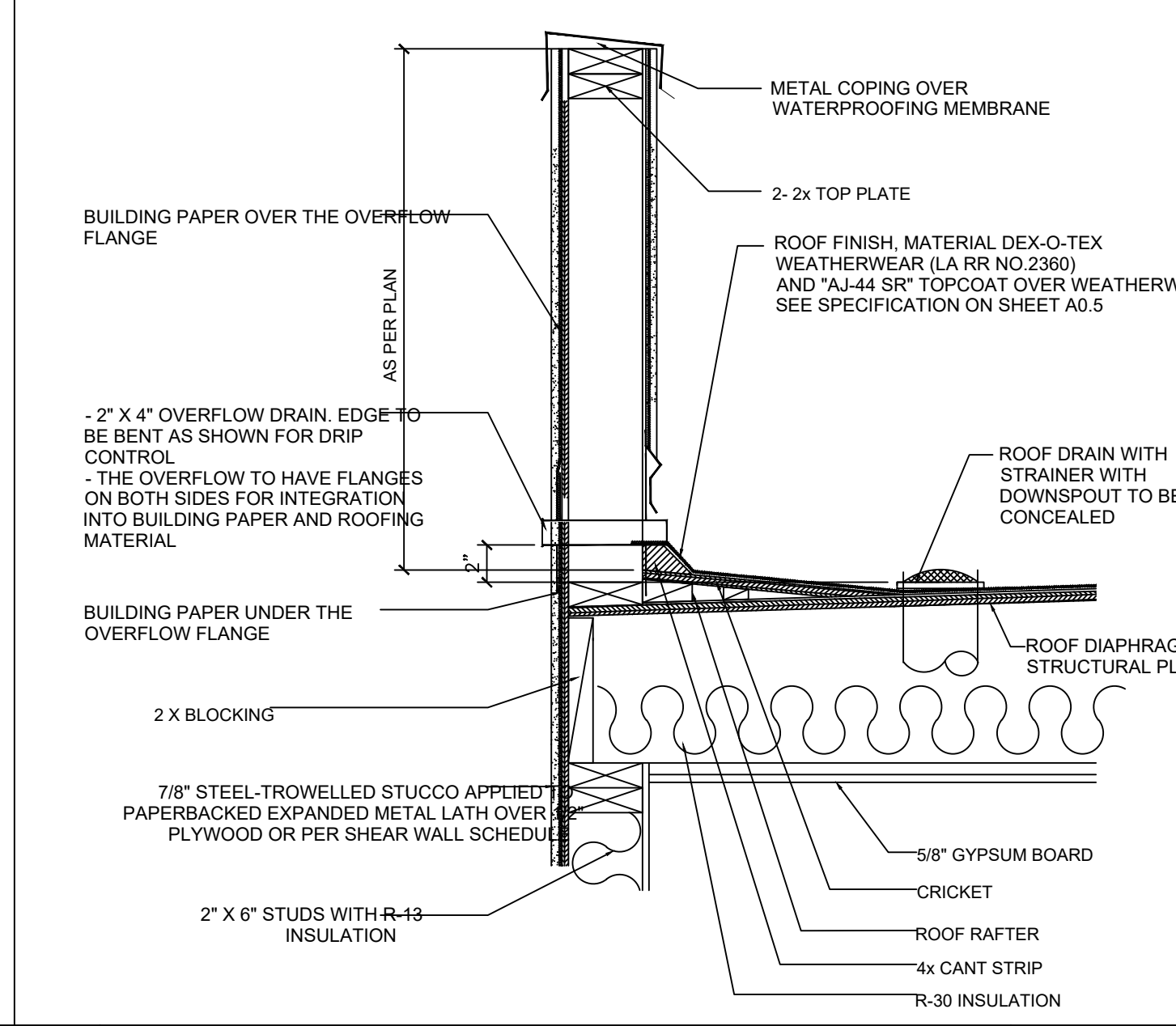
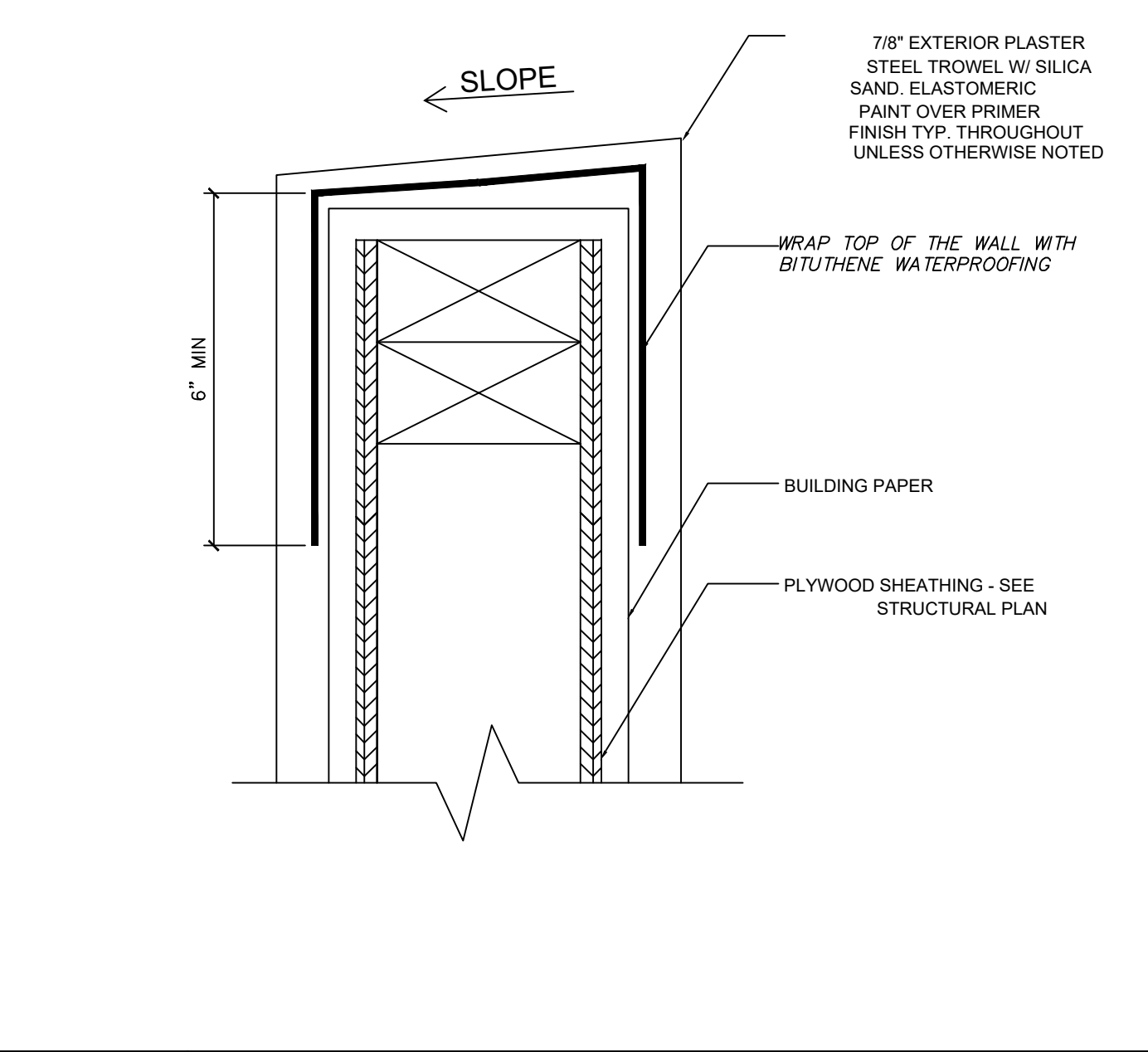


5 TYPICAL WINDOW FLASHING SCALE NTS

6 RAILING DETAIL SCALE NTS

7 MIN. BATHRM REQUIRMT SCALE NTS

8 TYP. THRESHOLD DETAIL SCALE NTS



9 TOP OF PARAPET DETAIL SCALE NTS

10 TYP. ROOF DRAIN/OVERFLOW@ PARAPET SCALE NTS

11 TUB DETAIL SCALE NTS

12 STAIR DETAIL SCALE NTS

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POLK HOUSING PROJECT

- PROJECT NAME

GENERAL NOTES

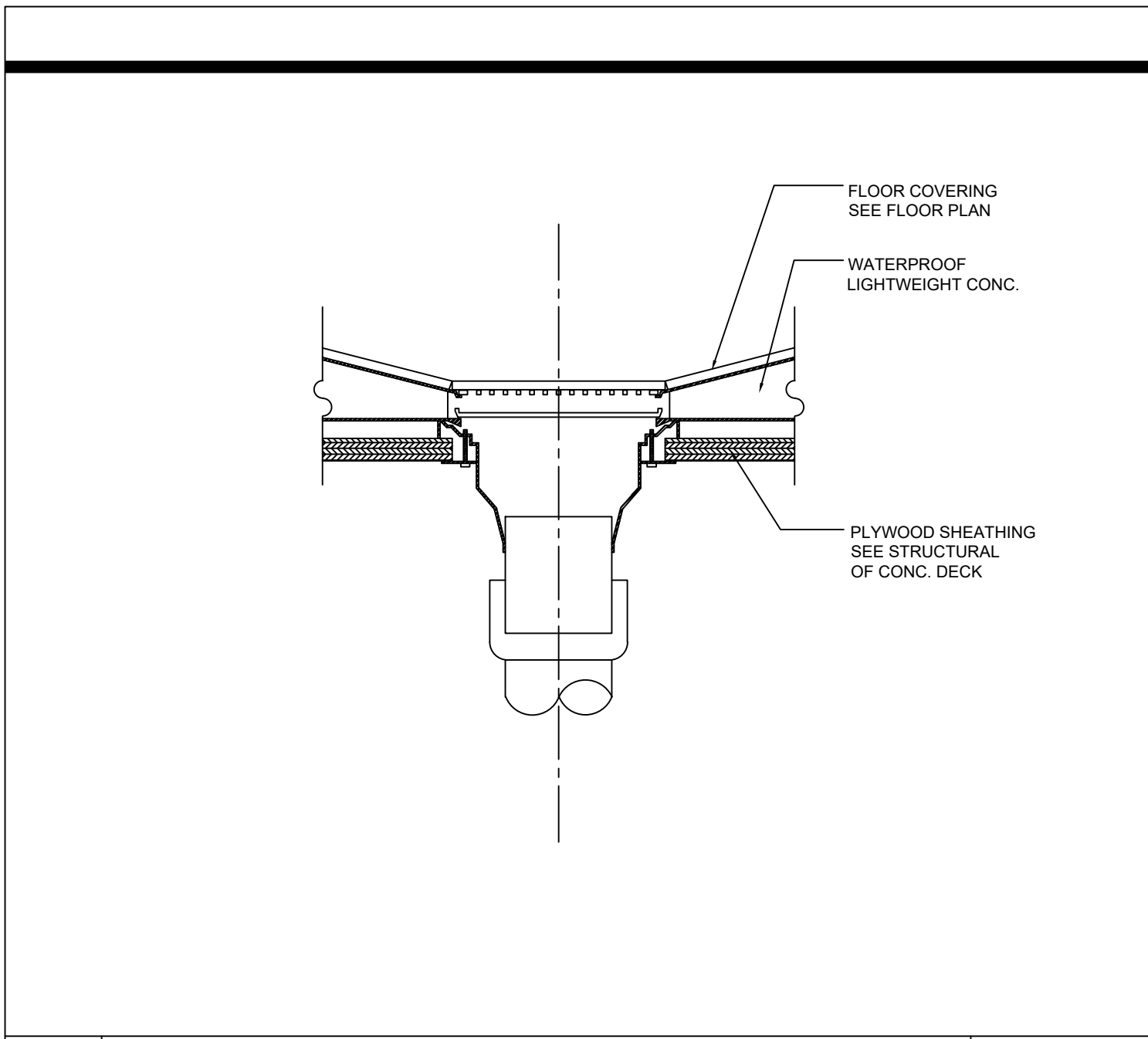
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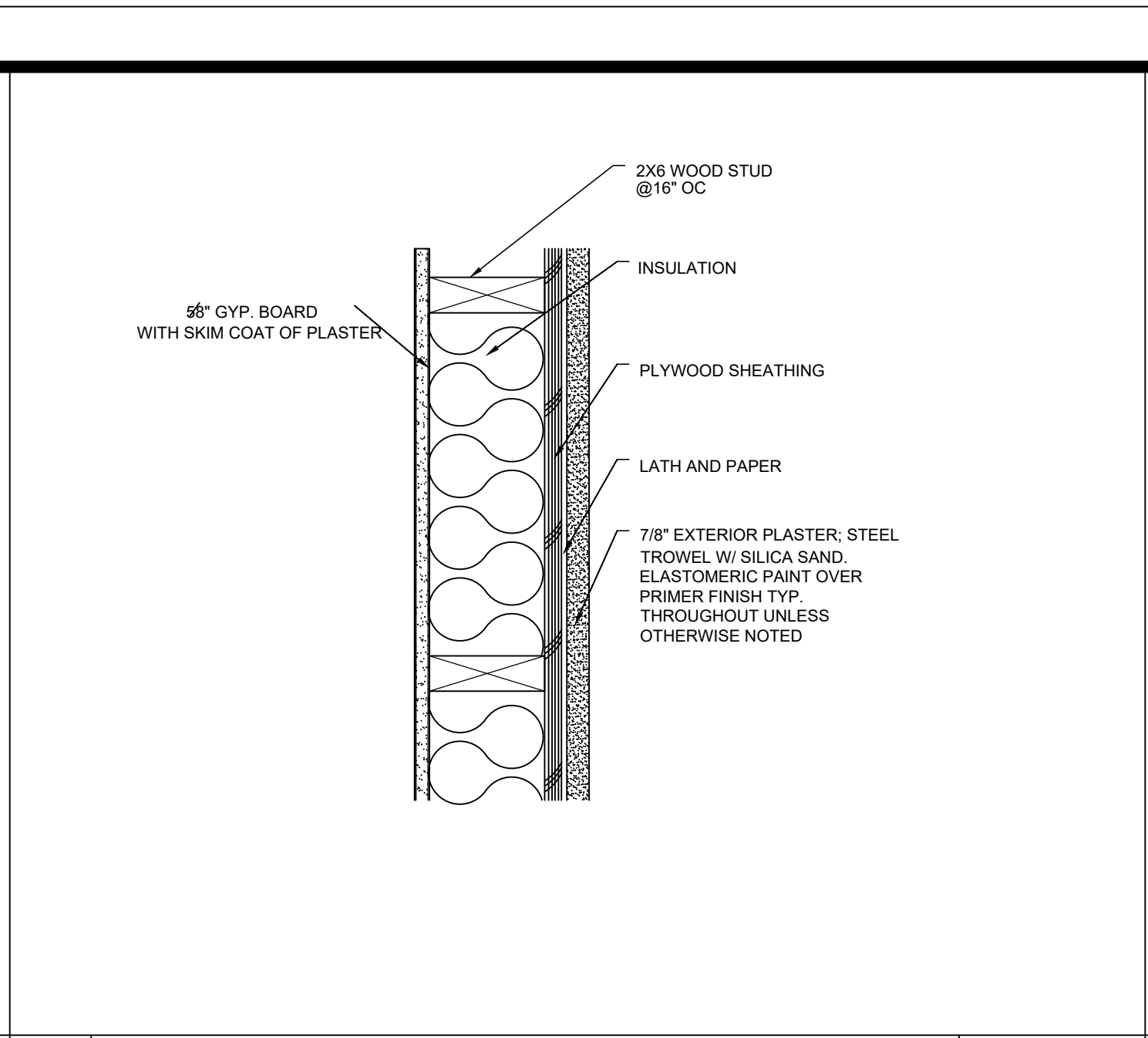
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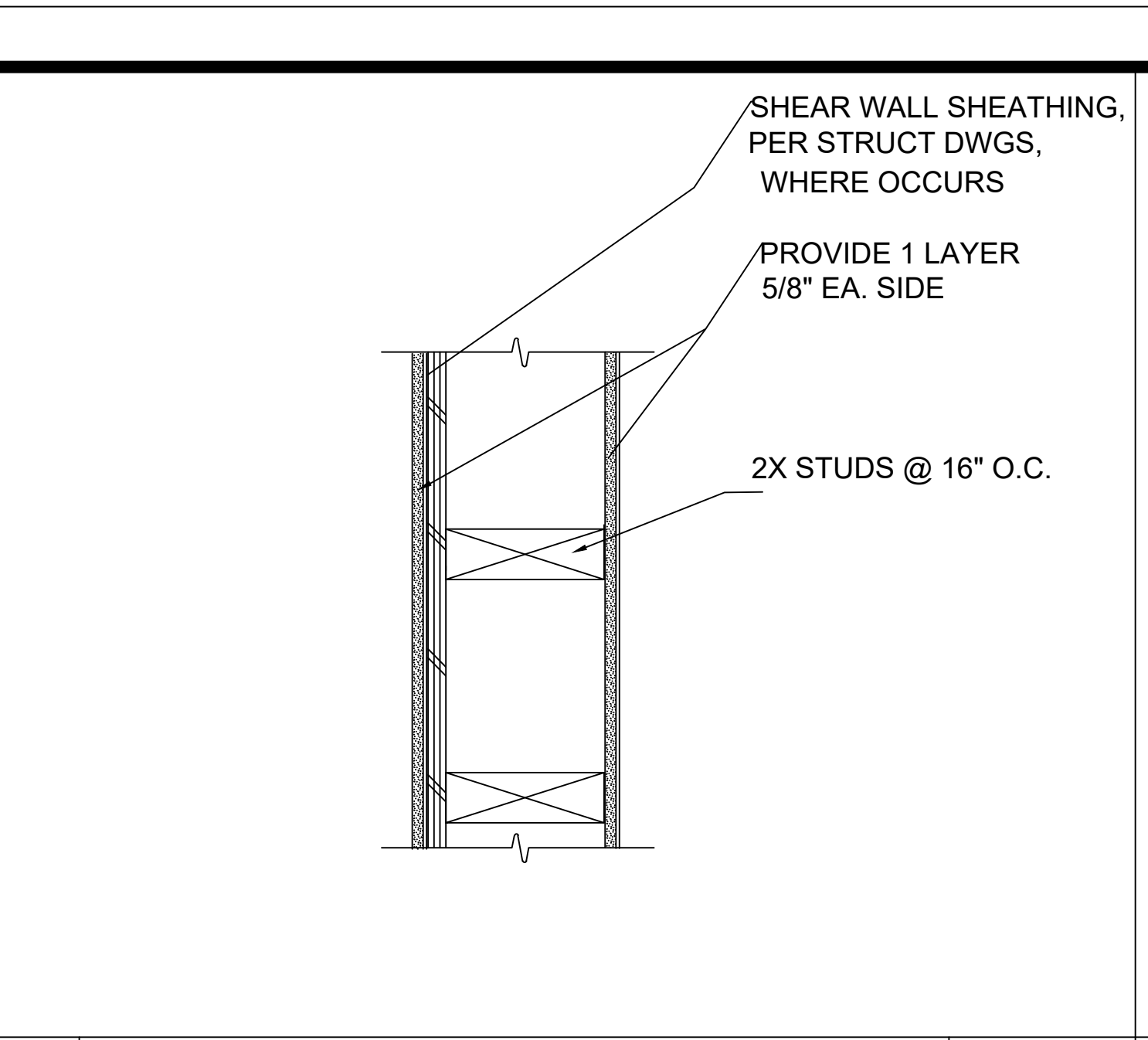
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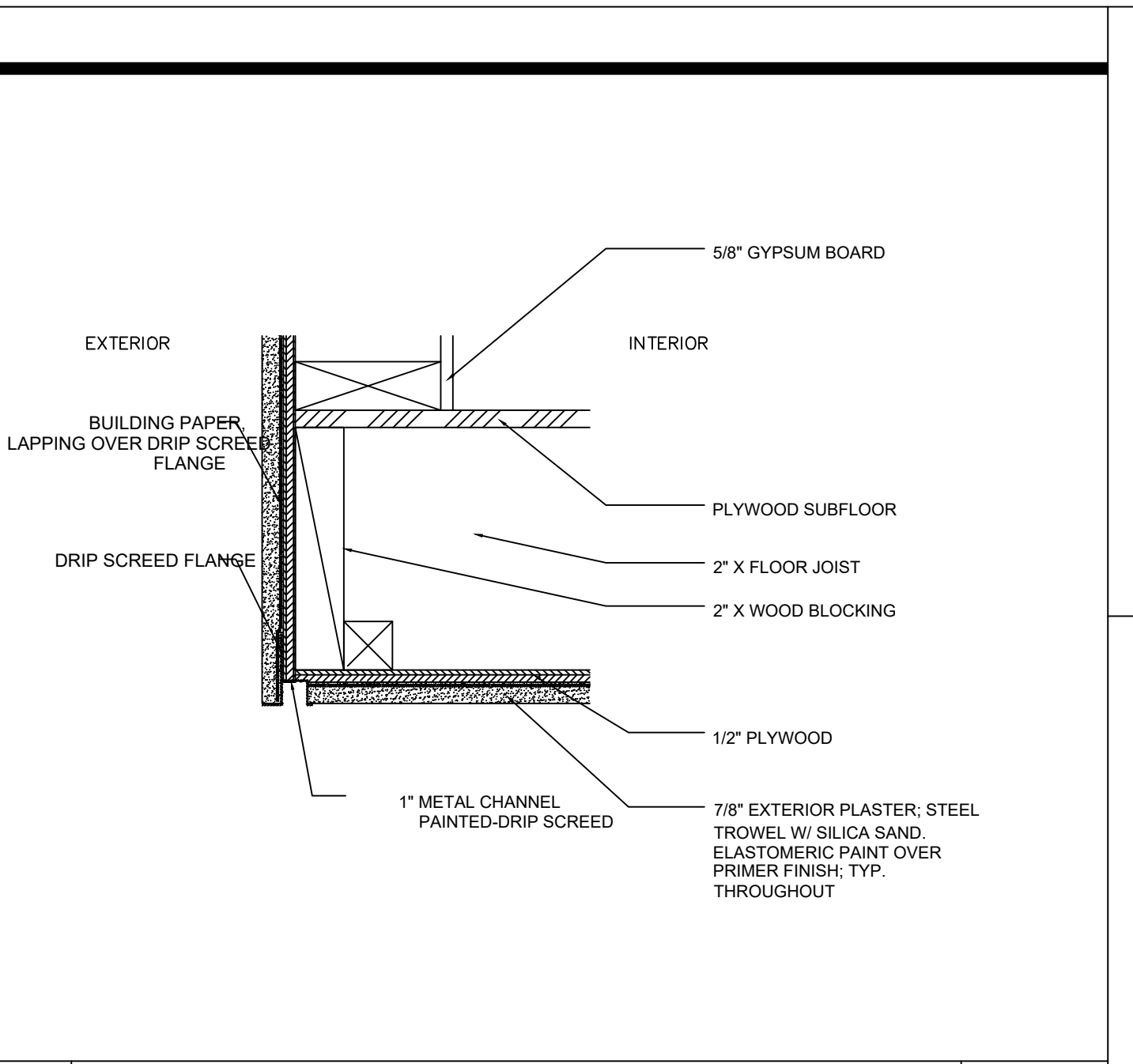
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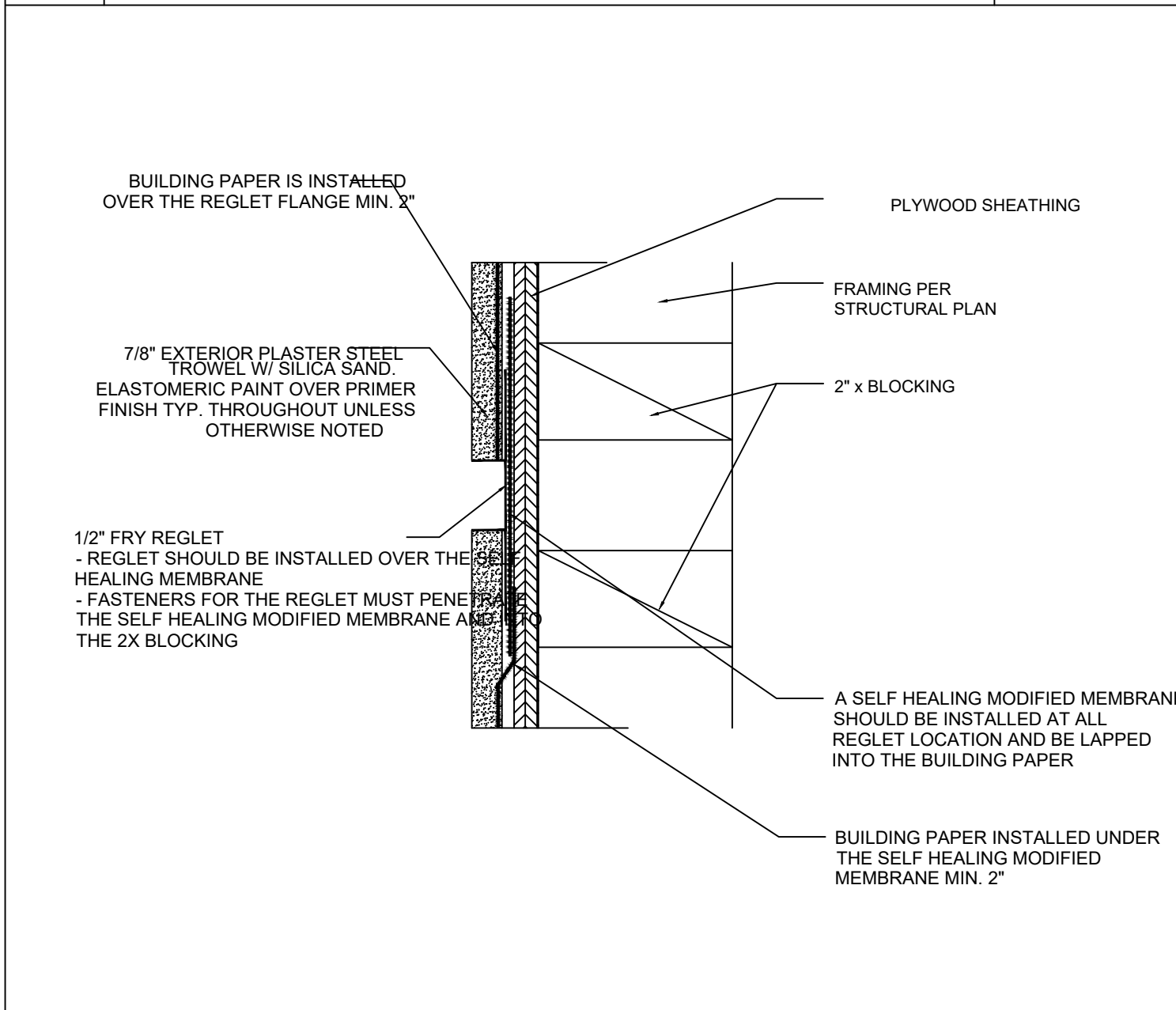
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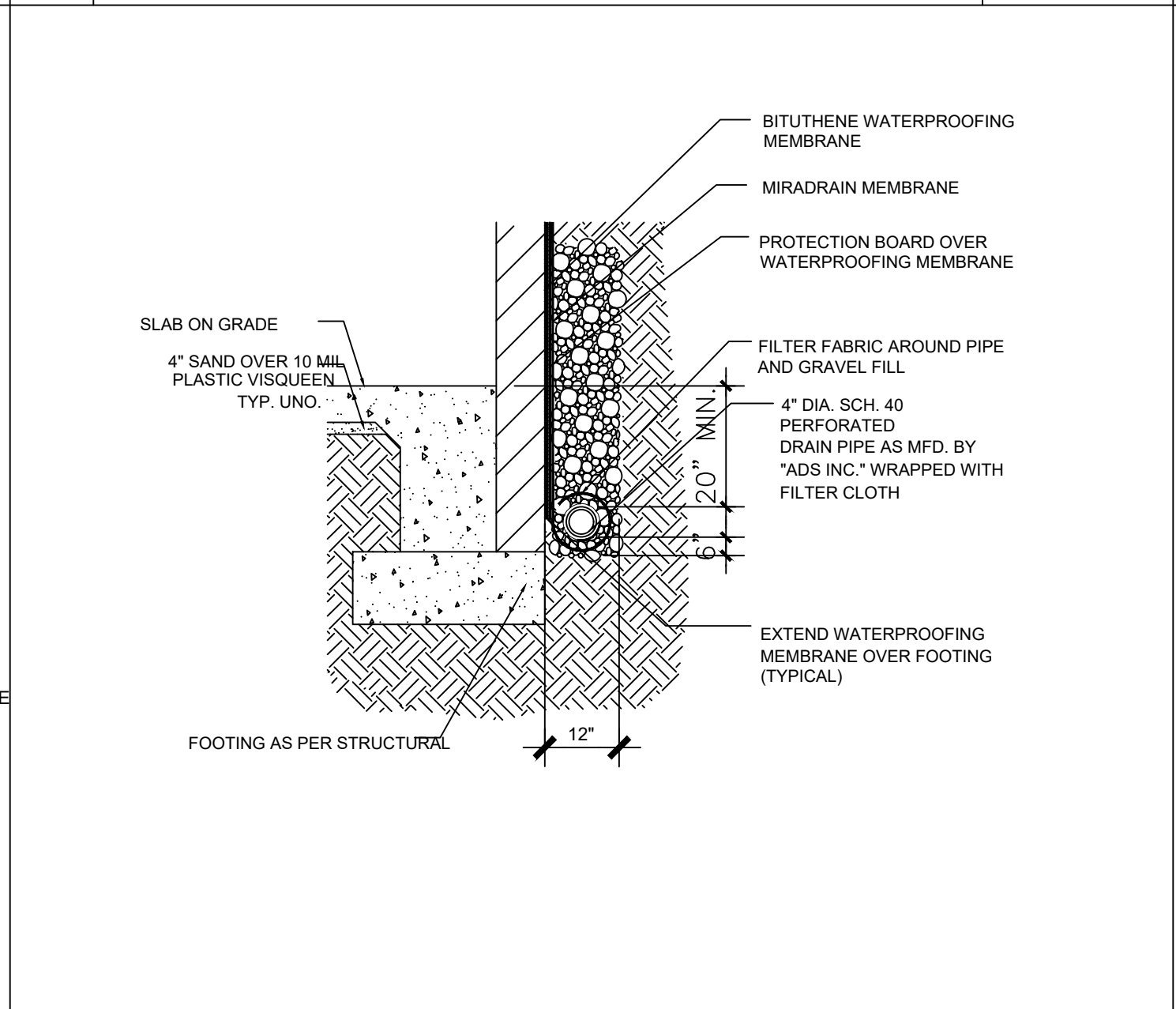
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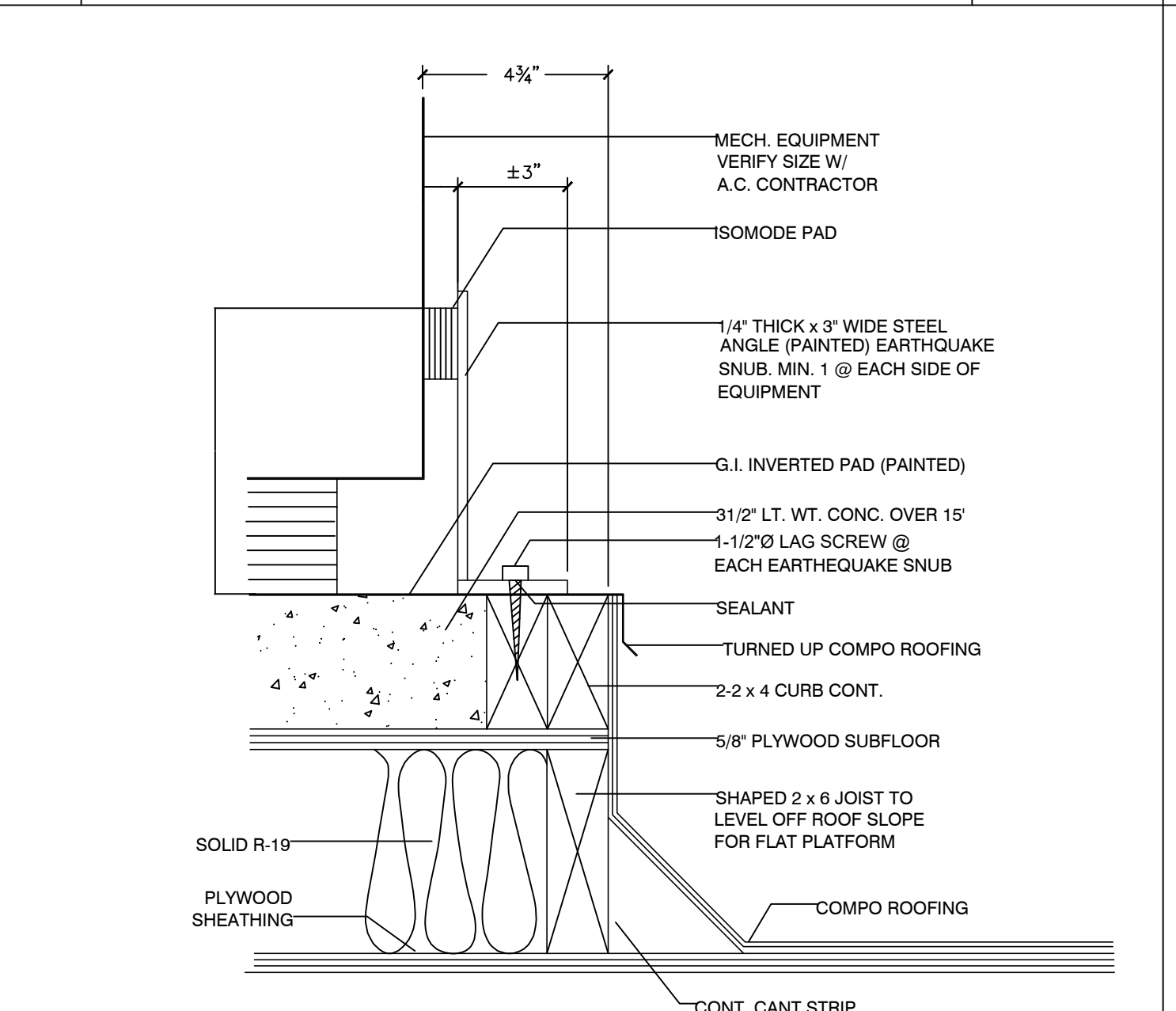
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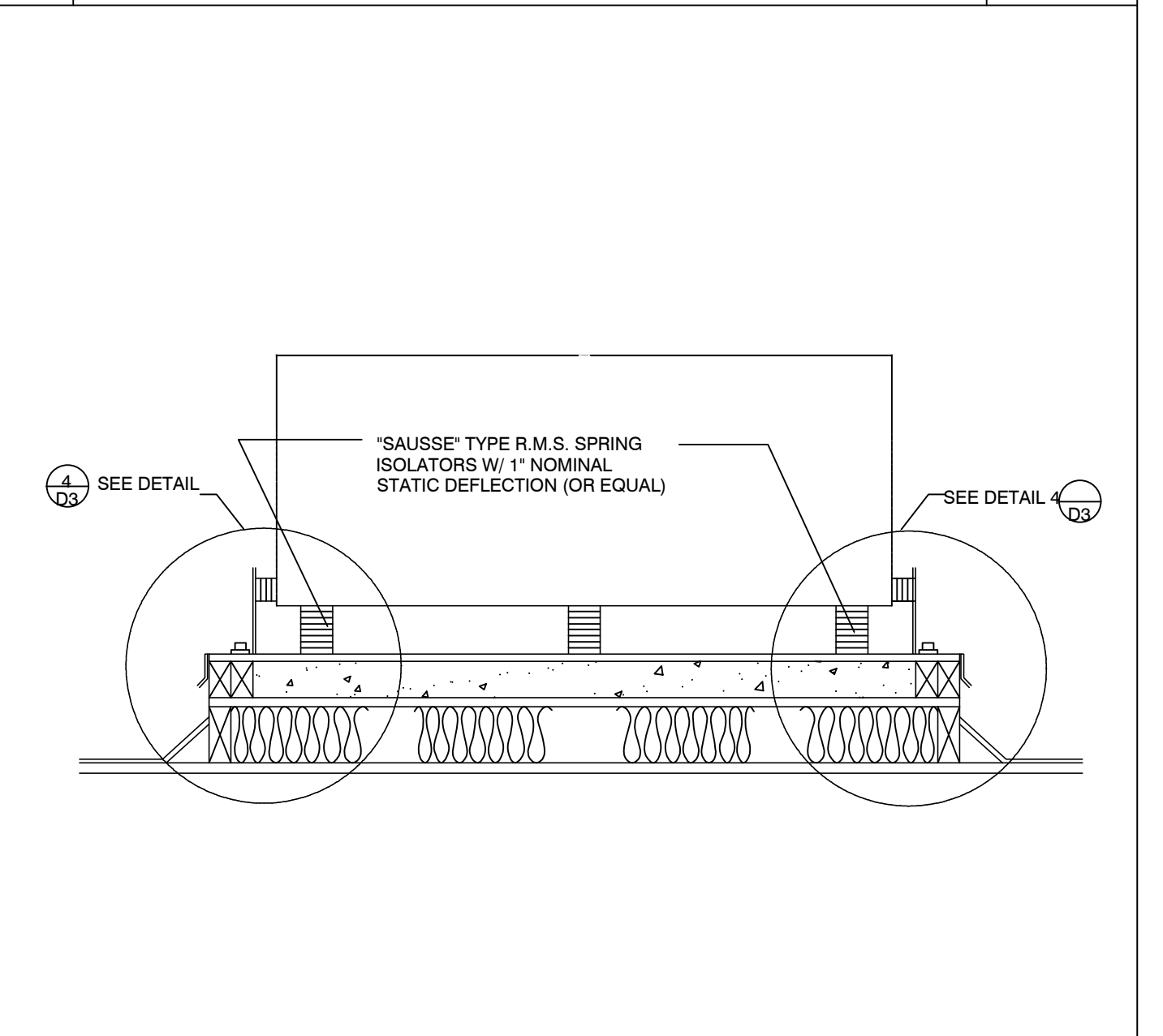
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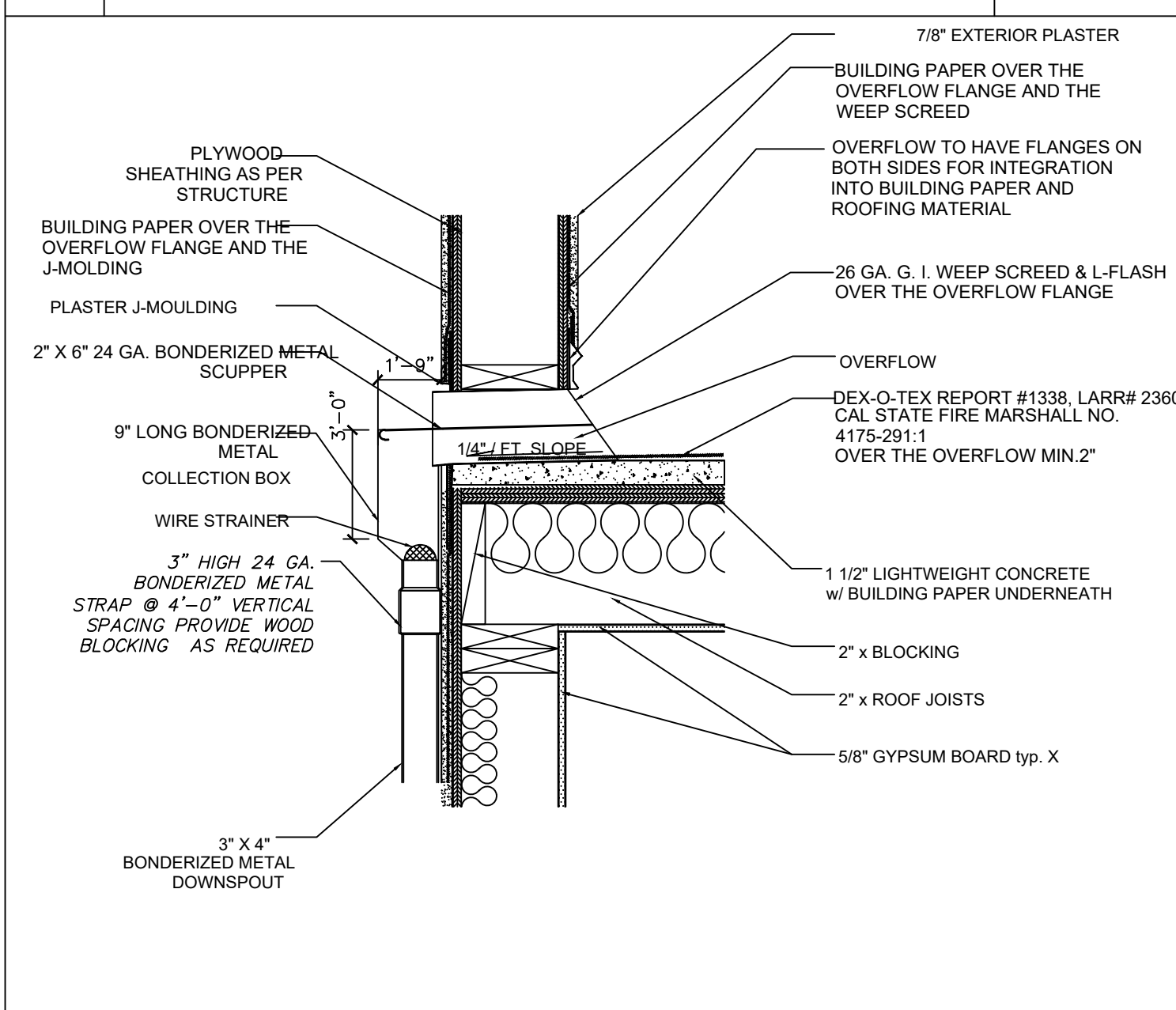
6 WATER PROOFING & PERFORATED PIPE DET. SCALE NTS



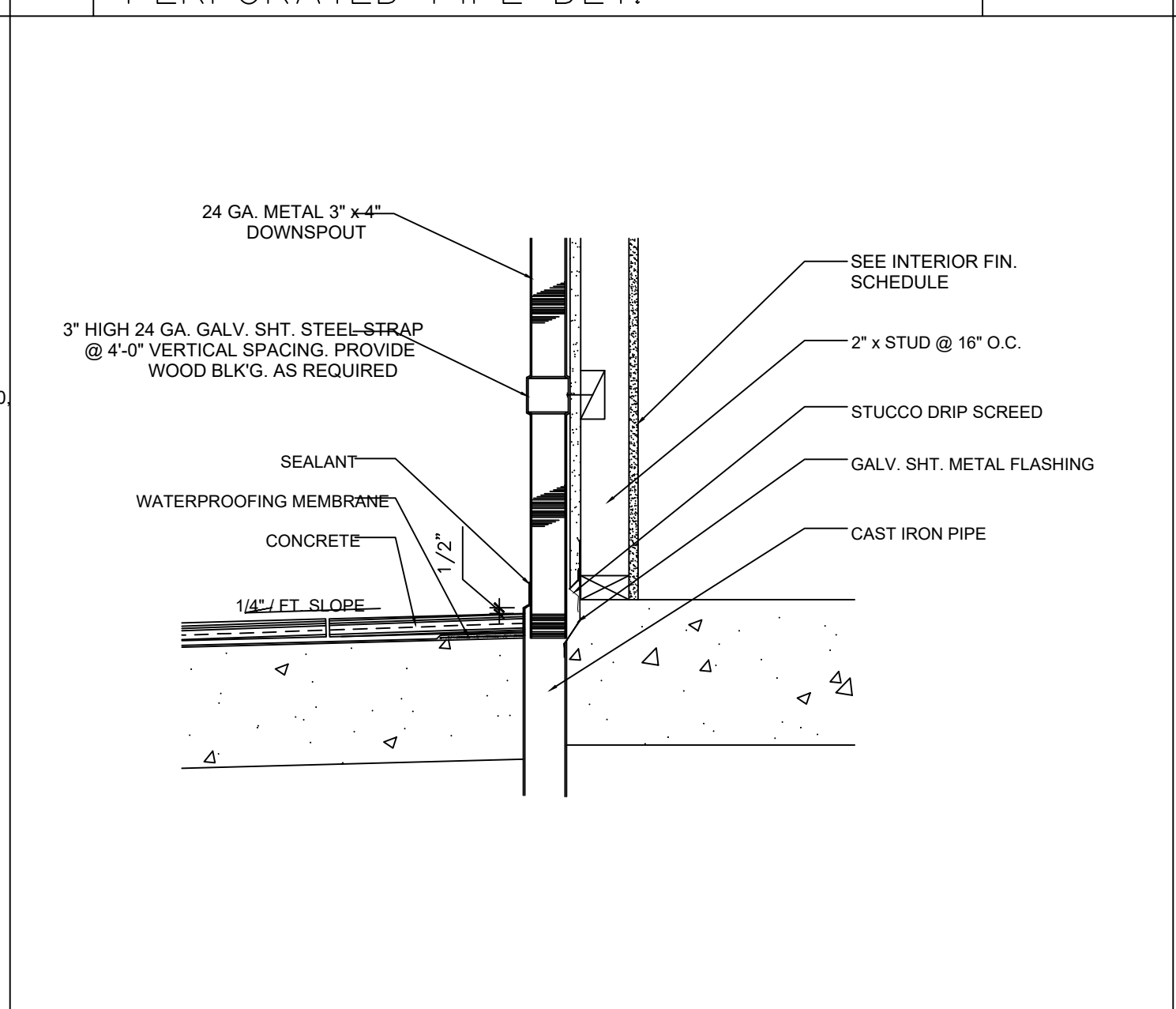
7 A.C. PAD SCALE NTS



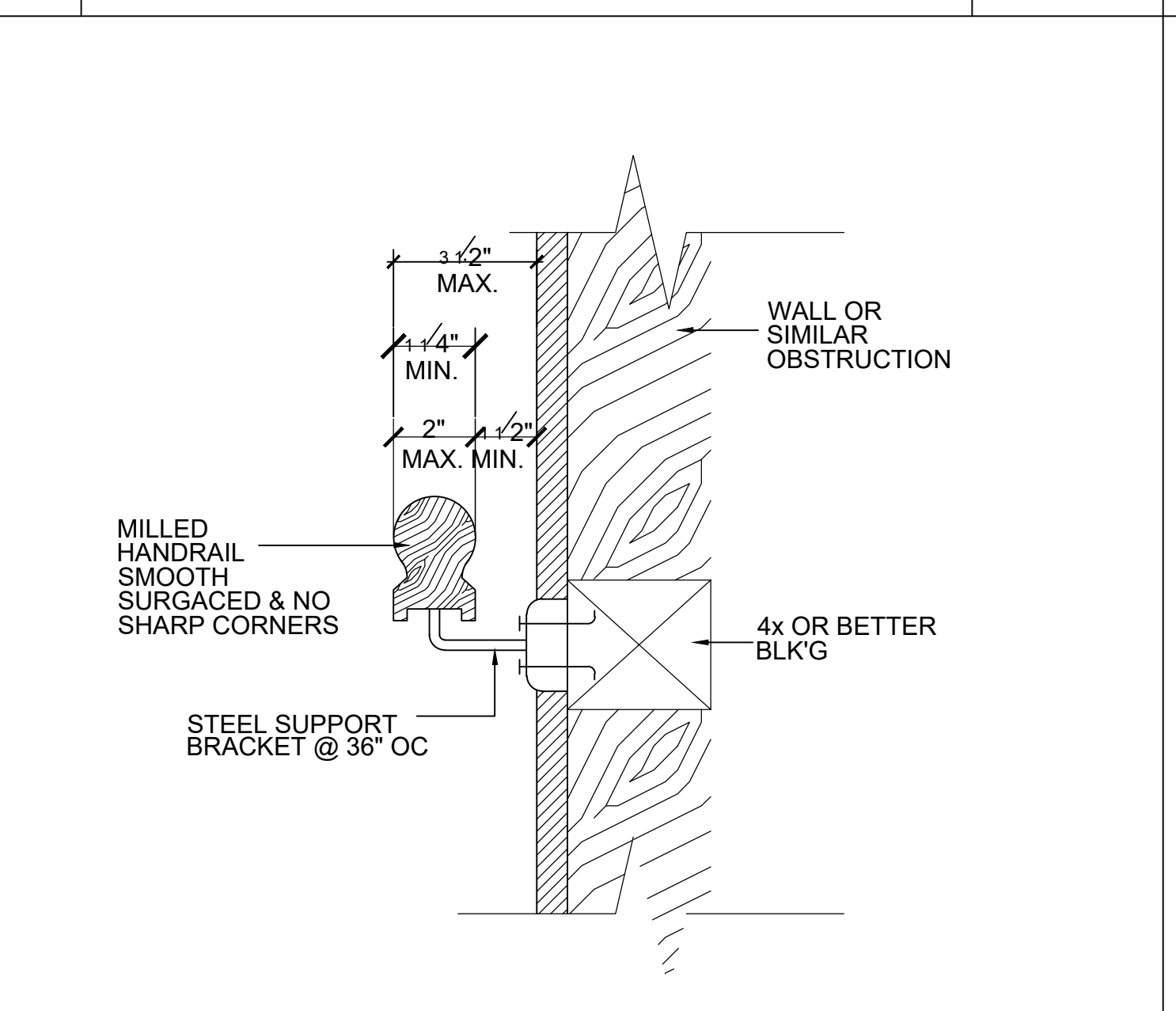
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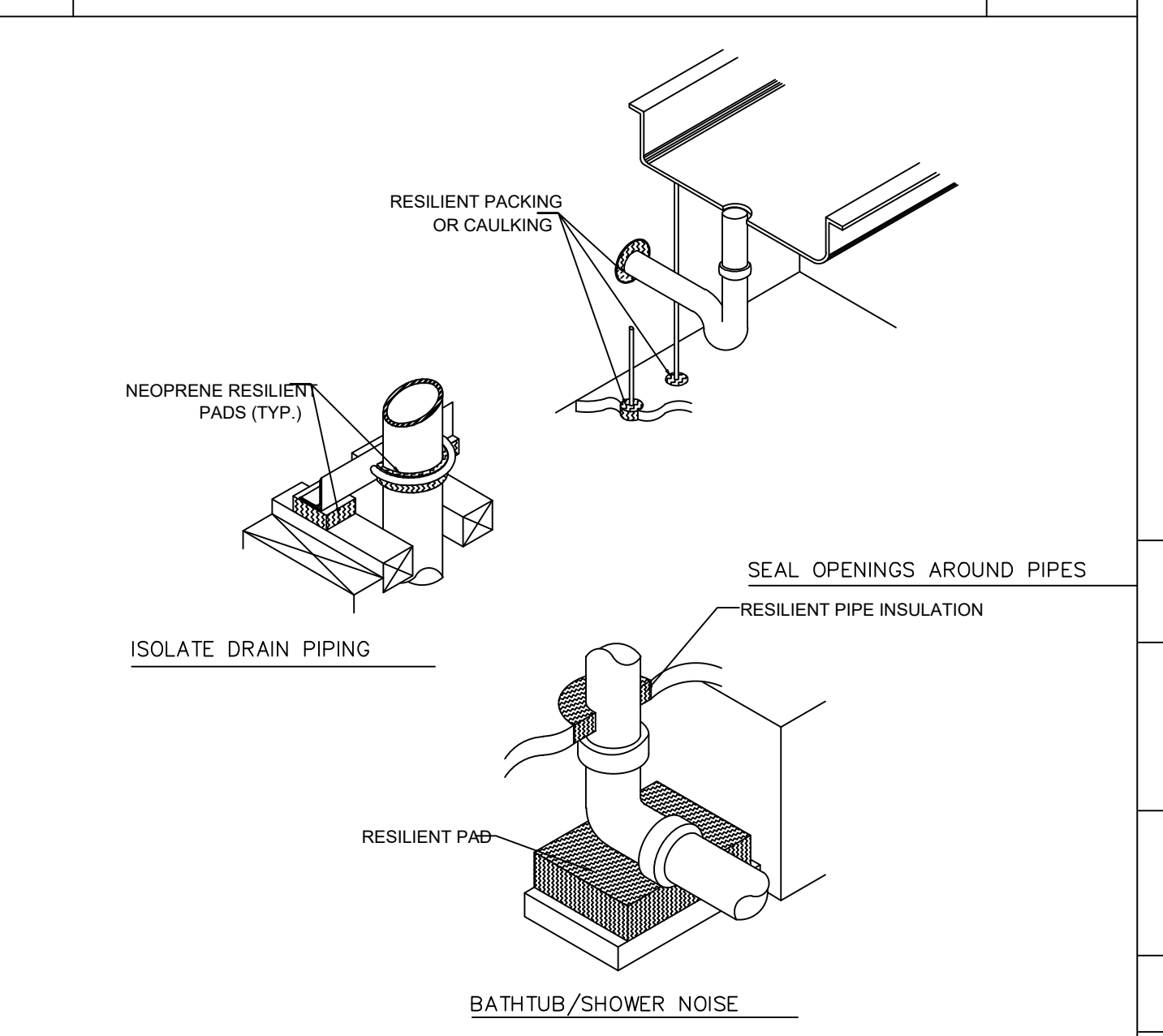
9 DOWNSPOUT & OVERFLOW SCALE NTS



10 DOWNSPOUT DETAIL SCALE NTS



11 HANDRAIL DETAIL SCALE NTS



12 LOCATION OF RESILIENT PAD SCALE NTS

<b>PLUMBING FIXTURE FLOW RATES</b> Residential Occupancies 2020 Los Angeles Green Building Code (Incorporate this form into the plans)	<b>FORM GRN 16</b>
<b>SECTION 4.303.1 WATER REDUCTION FIXTURE FLOW RATES</b>	
<b>FIXTURE TYPE</b>	<b>MAXIMUM ALLOWABLE FLOW RATE</b>
Showerheads	1.8 gpm @ 80 psi
Lavatory faucets, residential	1.2 gpm @ 60 psi <sup>1,3</sup>
Lavatory faucets, nonresidential	0.4 gpm @ 60 psi <sup>1,3</sup>
Kitchen faucets	1.5 gpm @ 60 psi <sup>2,4</sup>
Metering Faucets	0.2 gallons/cycle
Gravity tank type water closets	1.28 gallons/flush <sup>5</sup>
Flushometer tank water closets	1.28 gallons/flush <sup>5</sup>
Flushometer valve water closets	1.28 gallons/flush <sup>5</sup>
Urinals	0.125 gallons/flush
Clothes Washers	ENERGY-STAR certified
Dishwashers	ENERGY-STAR certified
<p><sup>1</sup> Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi.  <sup>2</sup> Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.  <sup>3</sup> Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.  <sup>4</sup> Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.05 gallons/flush installed throughout.  <sup>5</sup> Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.          Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.23.2.          Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.</p>	
<p>As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. (Rev. 01/01/20) Page 1 of 1 www.ladbs.org</p>	

<b>VOC AND FORMALDEHYDE LIMITS</b> 2020 Los Angeles Green Building Code (Incorporate this form into the plans)	<b>FORM GRN 11</b>																																																																																																												
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<b>WATER CONSERVATION NOTES - ORDINANCE #184248</b> RESIDENTIAL BUILDINGS	<b>FORM GRN 18R</b>
<b>PLUMBING SYSTEM</b>	
<p>1. Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter or submeter within common areas and within each individual dwelling unit. (4.303.3)</p> <p>2. Water use reduction shall be met by complying with one of the following:          A. Provide a 20% reduction in the overall potable water use within the building. The reduction shall be based on the maximum allowable water use for plumbing fixtures and fittings as required by the Los Angeles Plumbing Code. Calculations demonstrating a 20% reduction in the building "water use baseline", as established in Table 4.303.4.1, shall be provided; or          B. New fixtures and fittings shall comply with the maximum flow rates shown in Table 4.303.4.2, or          C. Plumbing fixtures shall use recycled water. Exception: Fixture replacements. (4.303.4)</p> <p>3. New building on a site with 500 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (4.304.3)</p> <p>4. Additions and alterations on a site with 500 square feet or more of cumulative landscape area and where the entire potable water system is replaced, shall have separate meters or submeters for outdoor water use. (4.304.3)</p> <p>5. In other than single family dwellings, locks shall be installed on all publicly accessible exterior faucets and hose bibs. (4.304.4)</p> <p>6. Provide a cover having a manual or power-operated reel system in any permanently installed outdoor in-ground swimming pool or spa in one- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered. (4.304.5)</p> <p>7. Except as provided in this section, for sites with over 500 square feet of landscape area, alternate water piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system (4.305.1)</p> <p>8. Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code. (4.305.2)</p>	
<p>9. In new buildings of 25 stories or less, the cooling towers shall comply with all of the following:          A. Shall have a minimum of 6 cycles of concentration (blowdown); or          B. A minimum of 50% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.1.1)</p> <p>10. In new buildings over 25 stories, the cooling towers shall comply with all of the following:          A. Shall have a minimum of 6 cycles of concentration (blowdown); and          B. 100% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.1.2)</p> <p>11. Where groundwater is being extracted and discharged, develop and construct a system for onsite reuse of the groundwater. Alternatively, the groundwater may be discharged to the sewer. (4.305.4)</p> <p>12. Provide a hot water system complying with one of the following (Los Angeles Plumbing Code Section 610.4.1):          A. The hot water system shall not allow more than 0.6 gallons of water to be delivered to any fixture before hot water arrives.          B. Where a hot water recirculation or electric resistance heat trace wire system is installed, the branch from the recirculating loop or electric resistance heat trace wire to the fixture shall contain a maximum of 0.6 gallons.          C. Residential units having individual water heaters shall have a compact hot water system that meets all of the following:              a. The hot water supply piping from the water heater to the fixtures shall take the most direct path.              b. The total developed length of pipe from the water heater to farthest fixture shall not exceed the distances specified in Table 3.6.5 of the California Energy Code Residential Appendix.              c. The hot water supply piping shall be installed and insulated in accordance with Section RA3.6.2 of the California Energy Code Residential Appendix.</p>	
<b>IRRIGATION SYSTEM</b>	
<p>12. A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) is required for new landscape areas of 500 sq. ft. or more. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public entity. (4.304.1)</p>	
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<b>LANDSCAPE CERTIFICATION</b> 2017 Los Angeles Green Building Code (This form is required at final inspection)	<b>FORM GRN 12</b>
<b>LANDSCAPING</b>	
<b>Section A: Landscape Designer</b>	
<p><input type="checkbox"/> I certify that I am qualified by the State of California to perform landscape design services; the landscape design and water use calculations for this project were prepared by me or under my supervision; the landscape design and water use calculations comply with the requirements of the Model Water Efficient Landscape Ordinance, and the Landscape Documentation Package is complete; OR</p> <p><input type="checkbox"/> Interior T.L. no landscape work performed (do not complete sections B or C below); OR</p> <p><input type="checkbox"/> This project is not subject to the Model Water Efficient Landscape Ordinance (do not complete sections B or C below).</p>	
Name: _____	Relationship to Project: _____
Company Name (if applicable): _____	State License # (if applicable): _____
Signature: _____	Date: _____
<b>Section B: Landscape Installer</b>	
<p><input type="checkbox"/> I certify that (a) I am qualified by the State of California to provide landscape design services; the landscape project for this project was installed by me or under my supervision; (b) the landscaping for the identified property has been installed in substantial conformance with the approved Landscape Documentation Package and complies with the requirements of the Model Water Efficient Landscape Ordinance; (c) a diagram of the irrigation plan showing hydrazones is kept with the irrigation controllers; (d) the Certificate of Completion has been completed in compliance with the requirements of the Model Water Efficient Landscape Ordinance and shall be implemented.</p>	
Name: _____	Relation to Project: _____
Company Name (if applicable): _____	State License # (if applicable): _____
Signature: _____	Date: _____
<b>Section C: Owner/Representative</b>	
<p><input type="checkbox"/> I certify that I am the property owner or an authorized representative and have received copies of all the documents within the Landscape Documentation Package and the Certificate of Completion and that it is my responsibility to see that the project is maintained in accordance with the Landscape and Irrigation Maintenance Schedule.</p>	
Signature: _____	Date: _____
<p><i>Qualified irrigation service provider: The following individuals are authorized to provide services required by the Irrigation Guidelines in the State of California: Landscape Architects, Landscape Contractors, Landscape Designers and Irrigation Consultants. Personal property owners may design and sign plans for work on any property they own. (Sections 5300.1, 5615.5, 5641, 5641.1, 5641.2, 5641.3, 5641.4, 5641.5, 5641.6, 6701, 7027.3 of the Business and Professions Code, Section 832.27 of Title 16 of the California Code of Regulations, and Section 6721 of the Food and Agricultural Code.)</i></p>	
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<b>STORM WATER POLLUTION CONTROL</b> (2020 Los Angeles Green Building Code)	<b>FORM GRN 1</b>
<b>GREEN BUILDING CODE PLAN CHECK NOTES</b> RESIDENTIAL BUILDINGS.	
<p>Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Construction Projects</p> <p><u>The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.</u></p> <p>Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)</p> <ol style="list-style-type: none"> <li>Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or road.</li> <li>Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.</li> <li>Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.</li> <li>Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.</li> <li>Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.</li> <li>Trash and construction –related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.</li> <li>Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.</li> <li>Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.</li> <li>Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.</li> </ol>	
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<b>VOC AND FORMALDEHYDE LIMITS</b> 2020 Los Angeles Green Building Code (Incorporate this form into the plans)	<b>FORM GRN 11</b>
<p>1. For each new dwelling and townhouse, provide a listed raceway that can accommodate a dedicated 208/240 volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces, NSF/ANSI 140 at the Gold level shall be installed at the time of original construction. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the Los Angeles Electrical Code. (4.106.4.2)</p> <p>2. For common parking area serving R-occupancies, the electrical system shall have sufficient capacity to simultaneously charge all designated EV spaces at the full rated amperage of the Electric Vehicle Supply Equipment (EVSE). Design shall be based upon a 40-ampere minimum branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces, NSF/ANSI 140 at the Gold level shall be installed at the time of original construction. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the Los Angeles Electrical Code. (4.106.4.2)</p> <p>3. Roofs with slopes &lt; 2:12 shall have a 3-year aged SRI value of at least 75 or both a 3-year aged solar reflectance of at least 0.63 and a thermal emittance of at least 0.75. Roofs with slopes &gt; 2:12 shall have an aged SRI value of at least 0.63 and both a 3-year aged solar reflectance of at least 0.20 and a thermal emittance of at least 0.75. (4.106.5)</p> <p>4. The required hardcoat used to reduce heat island effects shall have a solar reflectance value of at least 0.30 as determined per ASTM E1918 or ASTM C1549. (4.106.7)</p> <p>5. The flow rates for all plumbing fixtures shall comply with the maximum flow rates in Section 4.303.1. (4.303.1)</p> <p>6. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80psi, or the shower shall be designed to only allow one showerhead to be in operation at a time. (4.303.1.3.2)</p> <p>7. Installed automatic irrigation system controllers shall be weather- or soil-based controllers. (MWELO, § 492.7)</p> <p>8. For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881)</p> <p>9. Annular spaces around pipes, electric cables, conduits, or other openings in the building's envelope at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, metal plates. Piping prone to corrosion shall be protected in accordance with Section 313.0 of the Los Angeles Plumbing Code. (4.506.1)</p> <p>10. Materials delivered to the construction site shall be protected from rain or other sources of moisture. (4.407.4)</p> <p>11. Only a City of Los Angeles permitted hauler will be used for hauling or construction waste. (4.408.1)</p> <p>12. For all new equipment, an Operation and Maintenance Manual including, at a minimum, the items listed in Section 4.410.1, shall be completed and placed in handbooks and have their equipment placed in accordance with ANSI/ACCA the building at the time of final inspection. (4.410.1)</p>	
<p>13. All new gas fireplaces must be direct-vent, sealed combustion type. Wood burning fireplaces are prohibited per AQMD Rule 445. (4.503.1 AQMD Rule 445)</p> <p>14. All duct and other related air distribution component products shall be covered with tape, plastic, or sheet metal until the final startup of the heating, cooling and related branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the Los Angeles Electrical Code. (4.106.4.1)</p> <p>15. The VOC Content Verification Checklist, Form GRN 2, shall be completed and verified prior to final inspection approval. The manufacturer's specifications showing VOC content for all applicable products shall be readily available at the job site and be provided to the field inspector for verification. (4.504.2)</p> <p>16. All new carpet and carpet cushions installed in the building interior shall meet the testing and product requirements of one of the following (4.504.3):          a. Carpet and Rug Institute's Green Label Plus Program          b. California Department of Public Health's Specification 01350          c. NSF/ANSI 140 at the Gold level          d. Scientific Certifications Systems Indoor Advantage® Gold</p> <p>17. 80% of the total area receiving resilient flooring shall comply with one or more of the following (4.504.4):          a. VOC emission limits defined in the CHPS High Performance Products Database          b. Certified under U.S. GREENGUARD Gold          c. Certification under the Resilient Floor Covering Institute (RFCI) 10 or both a 3-year aged solar reflectance of at least 0.20 and a thermal emittance of at least 0.75.          d. Meet the California Department of Public Health's Specification 01350 at least 0.75.</p> <p>18. New hardwood plywood, particle board, and medium density fiberboard composite wood products used in the building shall meet the formaldehyde limits listed in Table 4.504.5. (4.504.5)</p> <p>19. The Formaldehyde Emissions Verification Checklist, Form GRN 3, shall be completed prior to final inspection approval. (4.504.5)</p> <p>20. Mechanically ventilated buildings shall provide regularly occupied areas of the rate of all the showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80psi, or the shower shall be designed to only allow one showerhead to be in operation at a time. (4.303.1.3.2)</p> <p>21. Wall and floor framing shall not be enclosed until it is inspected and found to be satisfactory. (4.505.3)</p> <p>22. Newly installed bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building. Fans must be controlled by a humidistat which shall be readily accessible. Provide the manufacturer's cut sheet for verification. (4.506.1)</p> <p>23. A copy of the construction documents or a comparable document indicating the information from Energy Code Sections 110.10(d) through 110.10(i) shall be provided to the occupant. (Energy Code § 110.10(i)) (4.506.1)</p> <p>24. The heating and air-conditioning systems shall be sized and designed using ANSI/ACCA Manual J-2004, ANSI/ACCA 29-D-2009 or ASHRAE Handbook and have their equipment placed in accordance with ANSI/ACCA 36-S Manual S-2004. (4.507.2)</p>	
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