



San Fernando

12188 - 12192 San Fernando Road
Los Angeles, CA 91342

PZA Resubmittal 1

EXHIBIT "A"

Page No. 1 of 29

Case No. ADM-2023-965-DB-HCA-ED1

Set Issue / Revisions :

11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal
01.10.2023 PZA Re-submittal
03.16.2023 PZA Re-submittal 1

Project Directory :

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Landscape:
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Project Manager: Michael Savage
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Project Summary :

This is not a Public Housing Facilities Owned and/or Operated by, for or on Behalf of a Public Entity and No Tax Credit Received From State or Federal. Not a TCAC Facility, and not a Social Service Center. 100% Privately Funded.

General Requirements (See G0.04 - G0.16 For Additional Information)

Scope of Work :

- New Construction of a light gauge steel 5 - story multi-family residential building, 100% privately funded
- New light gauge steel frame 5 - story building (Type IIB)
- 121 Units (121) 1 - Bedroom @ 385 SF, Avg.
- 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers.

Site Address :

12188 - 12192 San Fernando Road
Los Angeles, CA 91342

Assessor Parcel Number (APN) :

2611-009-023, 2611-009-022

Legal Description :

Lots 21, 22, 23 and 24 of tract. No. 10143, in the City of Los Angeles, County of Los Angeles, State of California, as per Map recorded in book 145, pages 20 and 21 of maps, in the office of the county recorder of said county. Except therefrom that portion of said lots 21, 22, 23 and 25 included within the deeds to State of California, recorded April 25, 1949 as instrument No. 2720 in book 29924 page 309 Official Records, and recorded May 17, 1949 as instrument No. 266 in book 30107 page 285 official records in the office of the county recorder of said county.

Base Zone :

C2-2D-CPIO; Corridor Subarea F ("Transit-Oriented Development")

Entitlements / Incentives :

100% Affordable AB 2345 Density Bonus project with requests for Off - Menu incentives and waivers:

- Density Bonus:** Unlimited density and height (within 1/2 mile of major transit) PER AB2345
- Yard / Setback:** Reduction of Side(s) Set Back to 5FT from 8FT (LAMC 12.22.25.(f),(1))
- Open Space:** Up to 20% decrease from an open space requirement + 31% Reduction of Open Space Requirement. (LAMC 12.22.25.(f),(6))
- CPIO Glazing Requirement:** 15% Reduction of CPIO Glazing Requirement (Refer G0.22)
- Ground Floor Use:** Waiver of the CPIO Ground - Floor Commercial Requirement for 75% of the Primary Frontage and Limitation of Dwelling Units on the Ground Level.
- Parking:** Waiver of One (1) Paring Space for every 20 Dwelling Units or Guest Rooms

Lot Size :

18,829 SF

Density :

| | |
|---|----------------------------------|
| Allowable Base Density: | 47 Dwelling Units (1/400 SF) |
| Allowable Density w/ AB 2345 Incentive: | UIL Dwelling Units |
| Proposed Density (Market Rate): | 121 DU (100% Affordable Housing) |

FAR (See Also G0.15) :

| | |
|---------------------------------|------------------------------------|
| Allowable FAR (Base FAR): | 3 : 1 |
| Allowable FAR (Per 12.22.A.25): | 4.05 : 1 (35% increased Density) |
| Allowable Building Area FAR: | 76,257 SF |
| Proposed Building Area FAR: | 54,590 SF |

Building Area (See Also G0.05, G0.12 - 0.16) :

| | |
|----------------------|-----------|
| Gross Building Area: | 59,559 SF |
| Parking Area: | 0 SF |

Lot Coverage :

| | |
|---------------------|--------------|
| Building Footprint: | 12,415 SF |
| Hardscape: | See Plan L01 |
| Landscape: | See Plan L01 |

Height (See Also G0.05, A4.00 - 4.03) :

| | |
|------------------------------|--------------------------|
| Allowable Base Height Limit: | UIL for C2 |
| Allowable Height: | 60 FT (with Sylmar CPIO) |
| Proposed Height: | 54 FT 5 1/2 INCHES |
| Transitional Height Limit: | N/A |
| Allowable Building Stories: | Unlimited |
| Proposed Building Stories: | 5 Stories |

Setbacks (See Also G0.05, A4.00 - 4.03) :

| | REQ'D | PROVIDED | |
|----------------------------|-------|----------|---|
| Front Yard (San Fernando): | 1'-6" | 7'-2" | Sylmar CPIO req'd. No Dedication required |
| Side Yard (North PL): | 8'-0" | 5'-0" | Reduction of Side(s) Set Back to 5FT from 8FT for 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers |
| Side Yard (South PL): | 8'-0" | 5'-0" | Reduction of Side(s) Set Back to 5FT from 8FT for 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers |
| Rear Yard (Truman Ave): | 1'-6" | Varies | Truman Ave is considered Front Yard (Refer to Sylmar CPIO req'd) |

Open Space (See Also G0.05 & G0.16) :

| | |
|--|-----------|
| Required Open Space: | 12,100 SF |
| Allowable Open Space w/ 20% decreased: | 9,680 SF |
| Minimum Common Open Space w/ AB 2345: | 4,840 SF |
| Allowable Open Space provided (w/ 31% Reduction) | 6,675 SF |
| Required Landscaping: | 2,420 SF |
| Required Trees: | 31 |

Parking (See Also G0.05) :

100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers; including waiver of One (1) Parking Space for every 20 Dwelling Units or Guest Rooms.

Bicycle Parking (See Also G0.05) :

| | |
|------------------------------|---------------------------------|
| Required Long-Term Parking: | 86 Spaces; (86 Spaces Provided) |
| Required Short-Term Parking: | 10 Spaces; (10 Spaces Provided) |
| Required Maintenance Area: | 100 SF; (100 SF Provided) |

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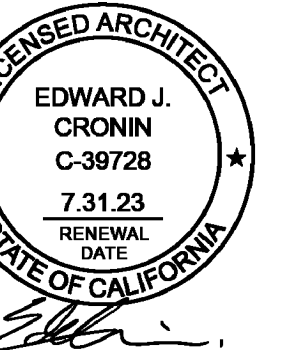
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W: www.openoffice.design

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San Fernando
12188 - 12192 San Fernando Road
Los Angeles, CA 91342

Cover Sheet

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SET ISSUE :

DATE : ISSUE :

11.21.2022 PZA Submittal
12.15.2022 1st Plan check Submittal
01.10.2023 PZA Re-submittal
03.16.2023 PZA Re-submittal 1

PROJECT NO : 202203

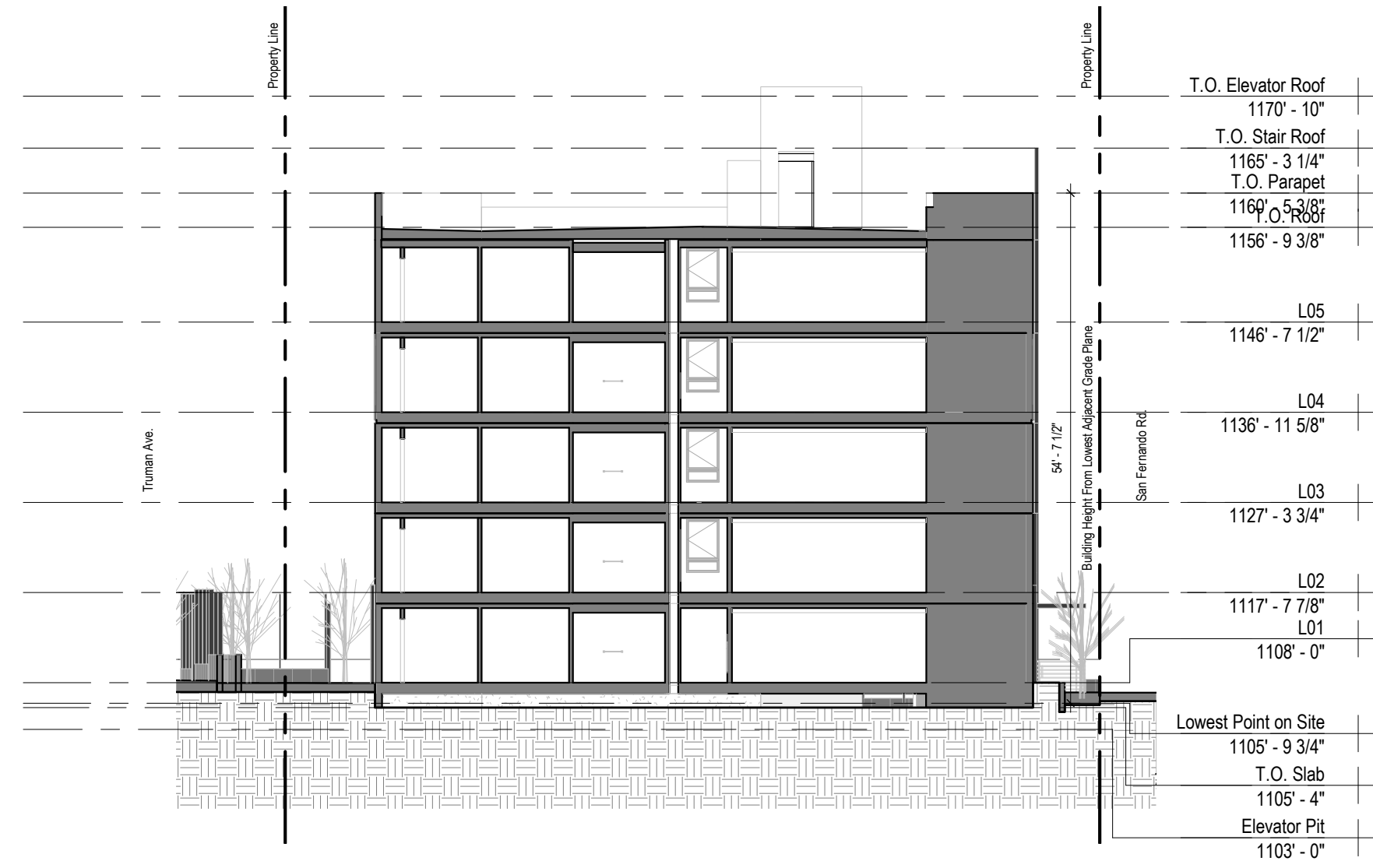
DRAWN BY : Author

CHECKED BY : Checker

SCALE : 12" = 1'-0"

SHEET NO :

G0.00



| Open Space: (per 12.21 G) | | |
|---|----------|--|
| < 3 Habitable Rooms - 100 SF: | 121 DU | 12,100 SF |
| Required Open Space: | | 12,100 SF |
| Allowable Open Space w/ 20% decrease: | | 9,680 SF |
| | | 4,840 SF |
| Provided Open Space w/ 100% affordable AB 2345 + Off-Menu | | 6,675 SF |
| Landscaping: | | |
| Required Landscaping: | 2,420 SF | (Min. 25% Area Planted With Ground Cover, Shrubs or Trees) |
| Required Trees: | 31 | 1 Box Tree Per 4 Dwellings |

| Applicable Codes: Los Angeles Municipal Code | | | |
|---|--|------------------------|---|
| Site Address: 12188 - 12192 San Fernando Road / Los Angeles, CA 91342 | Property Size: | 18,829 SF | |
| APN: 2611-009-023, 2611-009-022 | | | |
| Community Plan Area: Sylmar CPIO | | | |
| Base Zone: C2-1VL-CPIO | Zoning Information (ZI): | | |
| | <ul style="list-style-type: none"> ZI-2445 Community Plan Implementation Overlay: Sylmar ZI-2374 State Enterprise Zone: Los Angeles ZI-2452 Transit Priority Area in the City of Los Angeles ZI-1298 Local Emergency Temporary Regulations - Time Limits and Parking Relief - LAMC 16.02.1 ZI-2441 Aquist-Prilo Earthquake Fault Zone | | |
| | General Plan Land Use: Neighborhood Commercial | | |
| | General Plan Note(s): Yes | | |
| | Overlay(s): | | |
| | <ul style="list-style-type: none"> Community Plan Implementation Overlay (CPIO): Sylmar Subarea: F Transit-Oriented Development (TOD) Transit Oriented Communities (TOC): Tier 1 | | |
| Corridor Sub Area: | F Transit-Oriented Development (TOD) | | |
| Gross Lot Area - Density | 18,829 SF | | |
| Buildable Lot Area (C2 Zone Zero Setbacks for FAR Calcs) | 15,468 SF | | |
| Incentive Eligibility: | LAMC base zoning and 100% Affordable AB 2345 Density Bonus Project | | |
| Height: | Notes: | | |
| Base Height Limit | UIL for C2 | | |
| Allowable Height: | 60 FT (with Sylmar CPIO) | | |
| Proposed Zoning Code Height: | | | |
| Transitional Height Limit: | N/A | | |
| Proposed Building Height: | 54 FT 5 1/2 INCHES | | |
| Allowable Building Stories: | UIL | | |
| Allowable Building Stories 1b: w/ Tier 1 Add. Incentives: | UIL | | |
| Proposed Building Stories: | 5 | | |
| Allowable FAR | 3:1 | | |
| Allowable Building Area w/ AB2345 (FAR): | 4.05:1 w/12.22 A.25 (35% increased Density) | | |
| Allowable Building Area w/ AB2345 (FAR): | 76,257 SF | | |
| Proposed FAR: | 2.90 : 1 | | |
| Proposed Building Area FAR: | 54,590 SF | | |
| Allowable Density: | 47 DU (11400 sf) | | |
| Extremely Low Income Households | | | |
| Allowable Density w/ AB 2345 Incentive: | UIL DU | | |
| Proposed Density: | 121 DU (100% Affordable Housing) | | |
| Zoning Setbacks: | Required: | Provided: | Notes: |
| Front Yard (San Fernando): | 1' - 6" | 7' - 2" | Sylmar CPIO req'd. No Dedication required |
| Side Yard (West PL): | 8' - 0" | 5'-0" | Reduction of Side(s) Set Back to 5FT from 8FT for 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers |
| Side Yard (East PL): | 8' - 0" | 5'-0" | Reduction of Side(s) Set Back to 5FT from 8FT for 100% Affordable AB 2345 Density Bonus project with requests for off-menu incentives and waivers |
| Front Yard (Truman Ave): | 1' - 6" | Varies w/ Min. 1' - 6" | Refer: Sylmar CPIO req'd |
| Parking: | Required: | Provided: | Notes: |
| Vehicular: | | | |
| No Parking On Site | | | 100% Affordable AB 2345 project with requests for off-menu incentives and waivers; including no parking on site |
| Total Parking Provided*: | - | - | |
| Accessible: | - | - | |
| EV Spaces: | - | - | |
| EVCS: | - | - | |
| Bicycle: (Per LAMC 12.21 A.16) | Required: | Provided: | Notes: |
| Required Bicycle Parking: | | | |
| Long Term (Resident): | 25 | 25 | |
| | 50 | 50 | |
| | 11 | 11 | |
| Total: | 86 | 86 | (See A2.00, A2.03, A2.04) |
| Short Term (Visitor): | 3 | 3 | |
| | 5 | 5 | |
| | 2 | 2 | |
| Total: | 10 | 10 | (See A2.00) |

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 Case No. ADM-2023-965-DB-HCA-ED1

2 1/16" = 1'-0" Building Height Diagram

TRUMAN AVENUE

Building Heights Site Diagram (Section):

For Planning, Building Height is determined per "Determination of the Zoning Height of a Building or Structure"; Information Bulletin Reference No.: LAMC Sec. 12.03; Document No.: PZC 2002-008

Diagram shows the outline of the proposed new structure & offset from that outline overlaid on the survey. The lowest point on site has been established for determining building height. All spot elevations, contours, existing structures, site features, and utilities are from the survey underlying. See G0.06 & G0.07 for additional information.

For Building, Building Height is determined per LAMC Table 504.3 "Allowable Building Height in Feet Above Grade Plane"

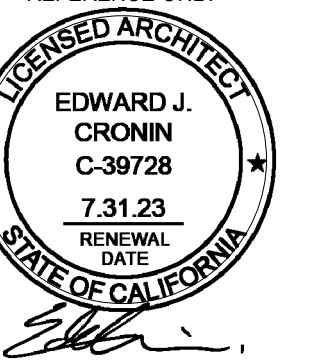
Diagram shows the outline of the proposed new structure & offset from that outline overlaid on the survey. The grade plane established represents the average of finished ground level within the area between the building and the lot line or, where the lot line is more than 6 feet from the building, between the building and a point 6 feet from the building.

Building Heights Site Diagram (Plan):

1 3/32" = 1'-0" Lowest Point On Site - Diagram

SAN FERNANDO ROAD

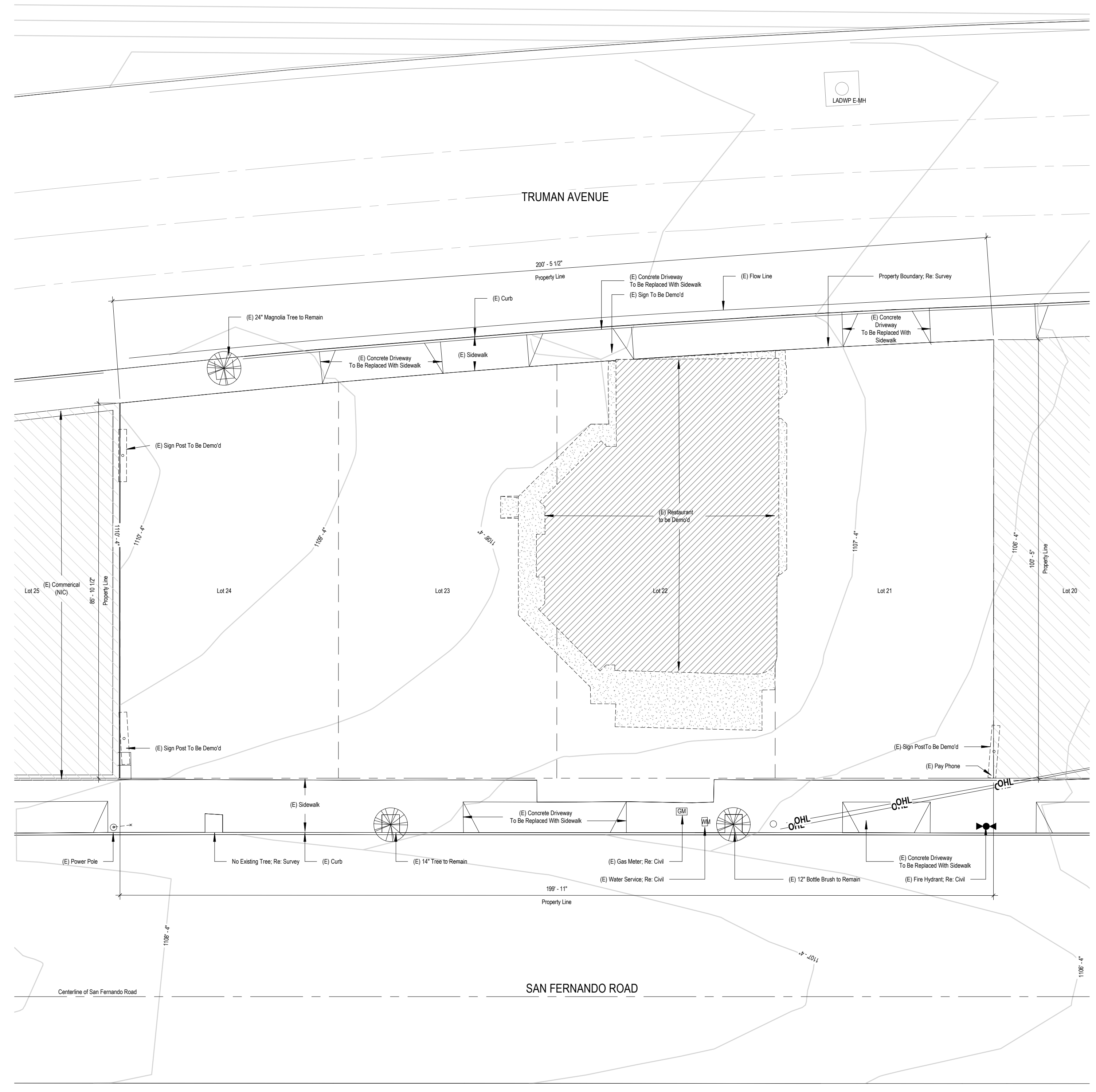
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| 03.16.2023 | PZA Re-submittal 1 |

PROJECT NO: 202203
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

SHEET NO:



General Notes - Site Plan - Existing

Property Info:
 Project Address: 12188 - 12192 San Fernando Road., Los Angeles, CA 91342
 Legal Description: Lot 21, 22, 23 and 24 in Block 1 of Ross and Jones Tract in the City of Los Angeles, County of Los Angeles as per map filed in book 5 page 139 of maps, in the office of the county recorder of Los Angeles County.

Existing Site:
 Existing Property/ Lot Area: 18,829 SF
 Building Footprint: 3,372 SF
 Building Coverage: 17.9%

Proposed Site:
 Existing Property/ Lot Area: 18,829 SF
 Building Footprint: 12,486 SF (See G0.12)
 Building Coverage: 66.3%

Proposed Impervious Area (Re: Civil Sheets):
 A. Total Disturbance Area:
 B. Existing Amount of Impervious Area:
 C. Proposed Amount of Created Impervious Area:
 D. Proposed Amount of Replaced Impervious Area:
 E. Created and/or Replaced Impervious Area in ROW:
 F. Total Project Impervious Area:

Note: Impervious Area May Include Rooftop, Concrete Pavement, Deck, Brick, Solar Panels, Etc.

General Notes - Site Plan:

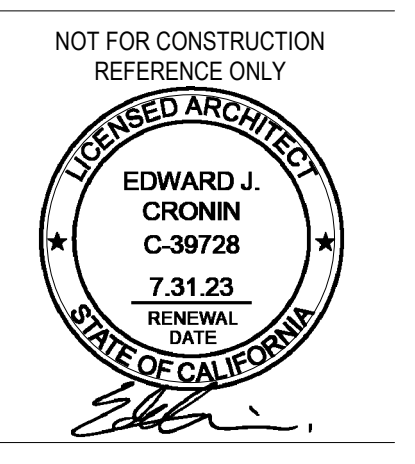
- Contractor to Verify Existing Utility Locations Prior To Construction, Typ.
- Provide Erosion Control, Re: Civil.
- Reference Roof Plan For Storm Drain Locations.
- Reference Foundation Plan For Under Slab Utility Locations.
- Re: Civil for Stormwater Management Systems.
- All Work Proposed in ROW Under Separate Permit.
- All Disturbed Areas Must Be Stabilized with Hardscape or Landscape Prior to Final Inspection.

Legend: Site Plan Symbols

| | |
|--|--|
| | Property Line |
| | Fence |
| | Lot Line |
| | Building / Wall / Floor to Be Demolished |
| | Curb Line |
| | Water Line |
| | Sewer Line |
| | Storm Drain |
| | Underground Gas Line |
| | Oil Pipeline |
| | Overhead Line |
| | Spot Elevation / Property Corner Note: Spot Elevations at Property Corners are Approximated from Civil Drawings |
| | Fire Hydrant |
| | Power Pole |
| | Signal Post |
| | Water Meter |
| | Electric Meter |
| | Gas Meter |

Legend: Site Plan Hatches

| | |
|--|--|
| | Zone Outside of Site Plan Extents |
| | Road or Driveway, Re: Survey |
| | Concrete Paving in R.O.W.; Re: Survey |
| | (E) Concrete; Re: Survey |
| | Existing Building or Structure; Re: Survey |



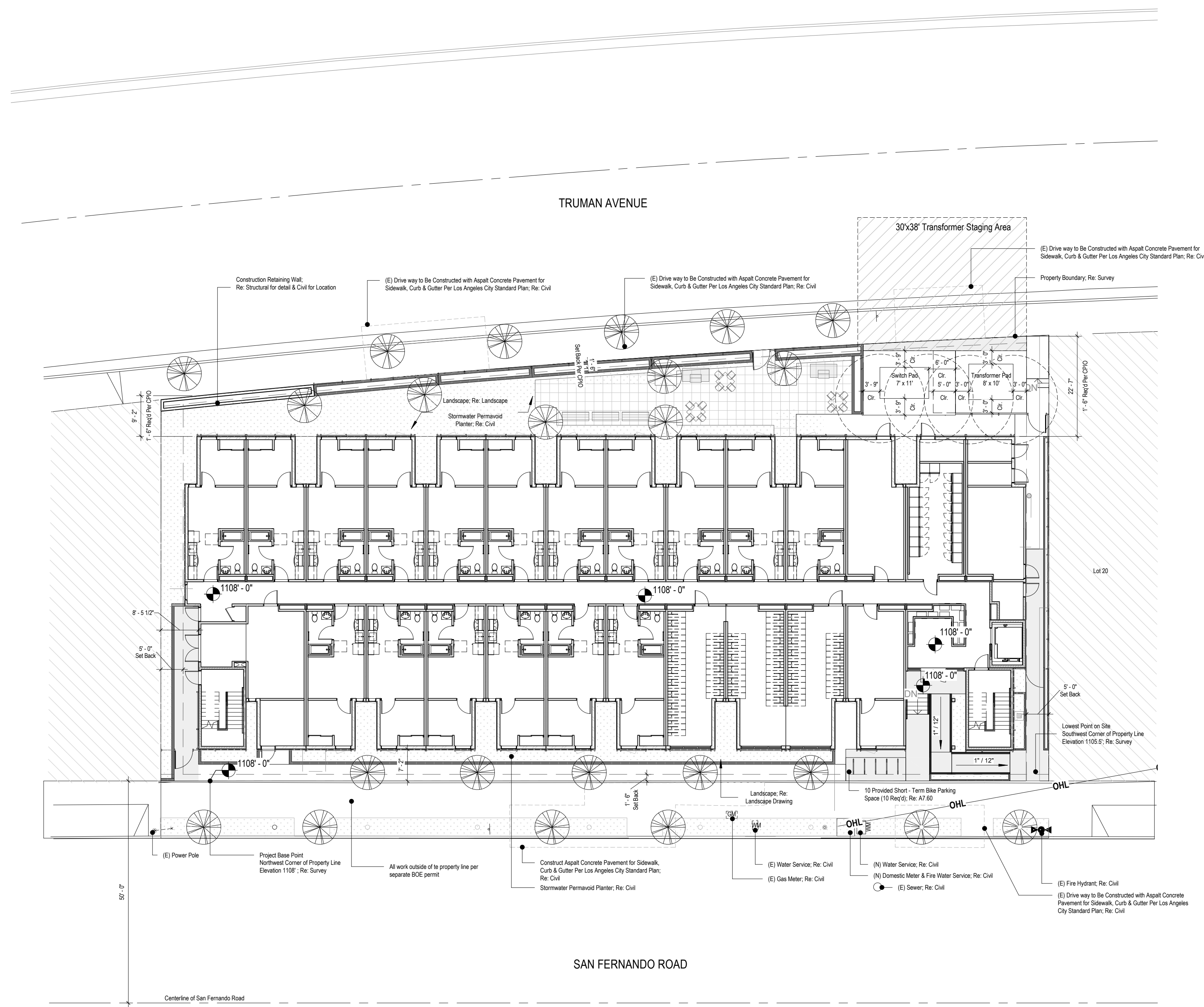
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| | |
|-------------|--------------|
| PROJECT NO: | 202203 |
| DRAWN BY: | Author |
| CHECKED BY: | Checker |
| SCALE: | As indicated |

SHEET NO:





General Notes - Site Plan - Proposed

Property Info:

Project Address: 12188 - 12192 San Fernando Road., Los Angeles, CA 91342

Legal Description: Lot 21, 22, 23 and 24 in Block 1 of Ross and Jones Tract in the City of Los Angeles, County of Los Angeles as per map filed in book 5 page 139 of maps, in the office of the county recorder of Los Angeles County.

Existing Site:

Existing Property/ Lot Area: 18,829 SF
 Building Footprint: 3,372 SF
 Building Coverage: 17.9 %

Proposed Site:

Existing Property/ Lot Area: 18,829 SF
 Building Footprint: 12,486 SF (See G0.12)
 Building Coverage: 66.3%

Proposed Impervious Area (Re: Civil Sheets):

- A. Total Disturbance Area:
- B. Existing Amount of Impervious Area:
- C. Proposed Amount of Created Impervious Area:
- D. Proposed Amount of Replaced Impervious Area:
- E. Created and/or Replaced Impervious Area in ROW:
- F. Total Project Impervious Area:

Note: Impervious Area May Include Rooftop, Concrete Pavement, Deck, Brick, Solar Panels, Etc.

General Notes - Site Plan:

1. Contractor To Verify Existing Utility Locations Prior To Construction, Typ.
2. Provide Erosion Control; Re: Civil.
3. Reference Roof Plan For Storm Drain Locations.
4. Reference Foundation Plan For Under Slab Utility Locations.
Re: Civil for Stormwater Management Systems.
5. All Work Proposed in ROW Under Separate Permit.
6. All Disturbed Areas Must Be Stabilized with Hardscape or Landscape Prior to Final Inspection.
7. All Parking is Assigned.
8. When assigned parking is provided, designated accessible parking for the dwelling unit shall be provided on request of residents with disabilities on the same terms and with the full range of choices (e.g., off-street parking, carport or garage) that are available for other residents.
9. Any obstruction that overhangs a pedestrian way shall be a minimum of 80 inches above the walking surface as measured from the bottom of the obstruction.
10. Clear floor or ground spaces for wheelchairs shall be stable, firm, slip resistant, and shall comply with Section 1110A.3 or Section 1119A.2. Changes in level are not permitted. Slopes not steeper than 1:48 shall be permitted.

Legend: Site Plan Symbols

| | |
|-----------------|--|
| --- | Property Line |
| --- | Fence |
| --- | Lot Line |
| --- | Building / Wall / Floor to Be Demolished |
| --- | Curb Line |
| - W - W - W | Water Line |
| - S - S - S | Sewer Line |
| STM - STM - STM | Storm Drain |
| - G - G - G | Underground Gas Line |
| - F - F - F | Oil Pipeline |
| - OH - OH - OH | Overhead Line |
| ● | Spot Elevation / Property Corner Note: Spot Elevations at Property Corners are Approximated from Civil Drawings |
| ● | Fire Hydrant |
| ○ | Power Pole |
| ⊙ | Signal Post |
| W | Water Meter |
| EM | Electric Meter |
| GM | Gas Meter |

Legend: Site Plan Hatches

| | |
|---------|--|
| [Hatch] | Zone Outside of Site Plan Extents |
| [Hatch] | Road or Driveway; Re: Landscape & Civil |
| [Hatch] | Concrete Paving in R.O.W.; Re: Landscape & Civil |
| [Hatch] | Landscape Planting; Re: Landscape |
| [Hatch] | Biofiltration Planter; Re: Civil |
| [Hatch] | Existing Building or Structure; Re: Survey |

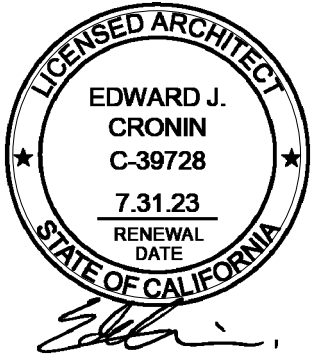
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San Fernando
 12188 - 12192 San Fernando Road
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Architectural Site Plan - Proposed

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PROJECT NO : 202203
 DRAWN BY : Author
 CHECKED BY : Checker
 SCALE : As indicated

SHEET NO :



General Notes

- 1. Refer to G0.11 for Life Safety

Building Occupant Load - Proposed table with columns: Occupancy, Floor Area (Gross / Net per CBC Table 1004.5), OccLoad Factor, Occ. Load. Rows include: Not Placed, B Business, L01, A-2, B, R-2, S-1, S-2, S-1 Electrical, S-1 Fire Riser, S-1 IDF, S-1 Inverter.

Building Occupant Load - Proposed table with columns: Occupancy, Floor Area (Gross / Net per CBC Table 1004.5), OccLoad Factor, Occ. Load. Rows include: S-1 MPOE, S-1 Trash, S-2 Storage, L02, R-2, S-1 IDF, S-1 Trash, S-1-2.

Building Occupant Load - Proposed table with columns: Occupancy, Floor Area (Gross / Net per CBC Table 1004.5), OccLoad Factor, Occ. Load. Rows include: R-2 Residential, S-1 IDF, S-1 Trash, S-1-2, L04, R-2, S-1 IDF, S-1 Trash, S-1-2, L05, R-2, S-1 IDF, S-1 Trash, S-1-2.

Building Occupant Load - Proposed table with columns: Occupancy, Floor Area (Gross / Net per CBC Table 1004.5), OccLoad Factor, Occ. Load. Rows include: R-2 Residential, R-2-27, S-1 IDF, S-1 Trash, S-1-2, S-2 Storage, S-2-1.

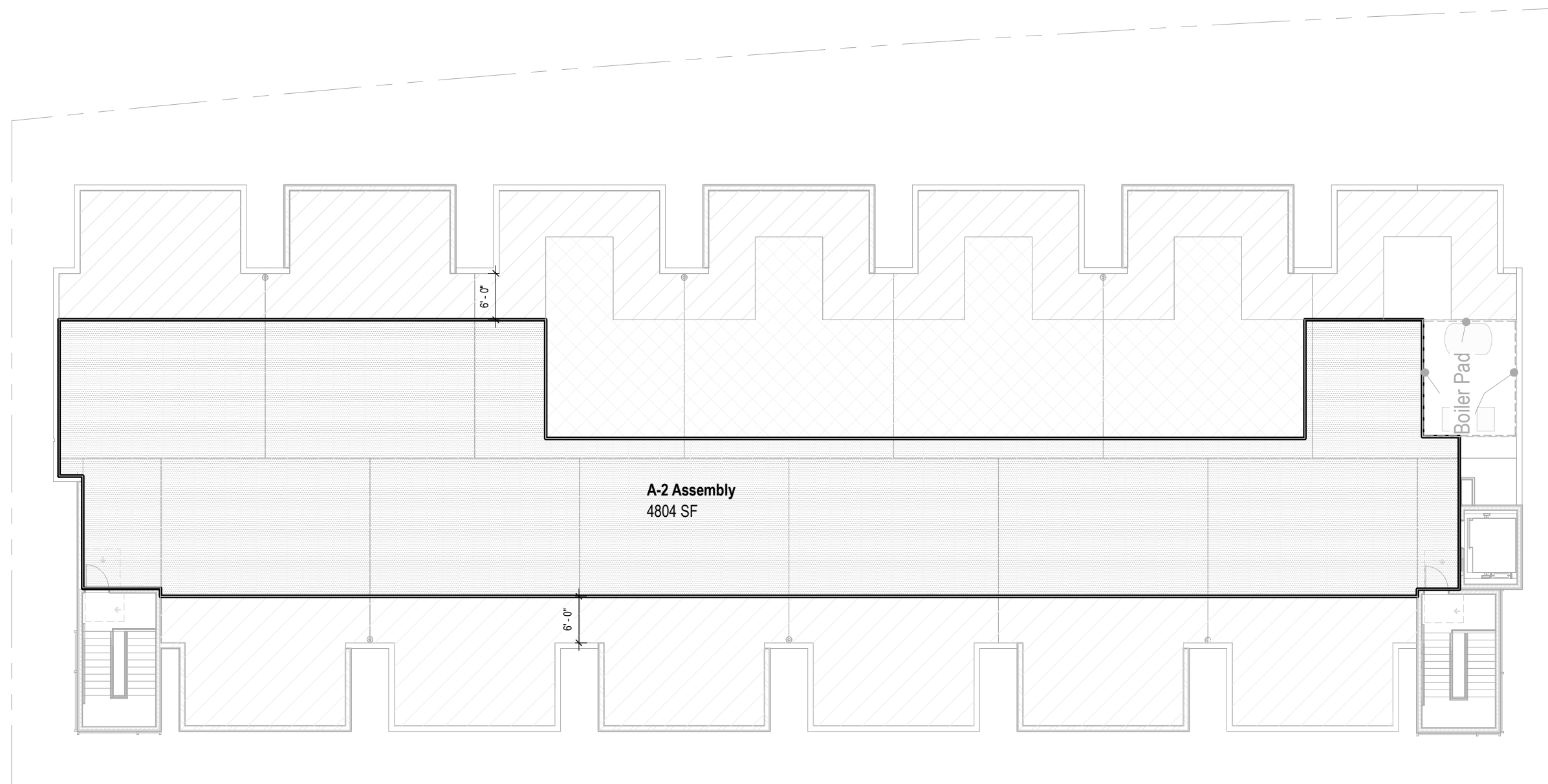
Building Occupant Load - Proposed table with columns: Occupancy, Floor Area (Gross / Net per CBC Table 1004.5), OccLoad Factor, Occ. Load. Rows include: R-2 Residential, R-2-27, S-1 IDF, S-1 Trash, S-1-2, S-2 Storage, S-2-1.

Building Occupant Load - Proposed table with columns: Occupancy, Floor Area (Gross / Net per CBC Table 1004.5), OccLoad Factor, Occ. Load. Rows include: L03, R-2, S-1 IDF, S-1 Trash, S-1-2, S-2 Storage, S-2-1.

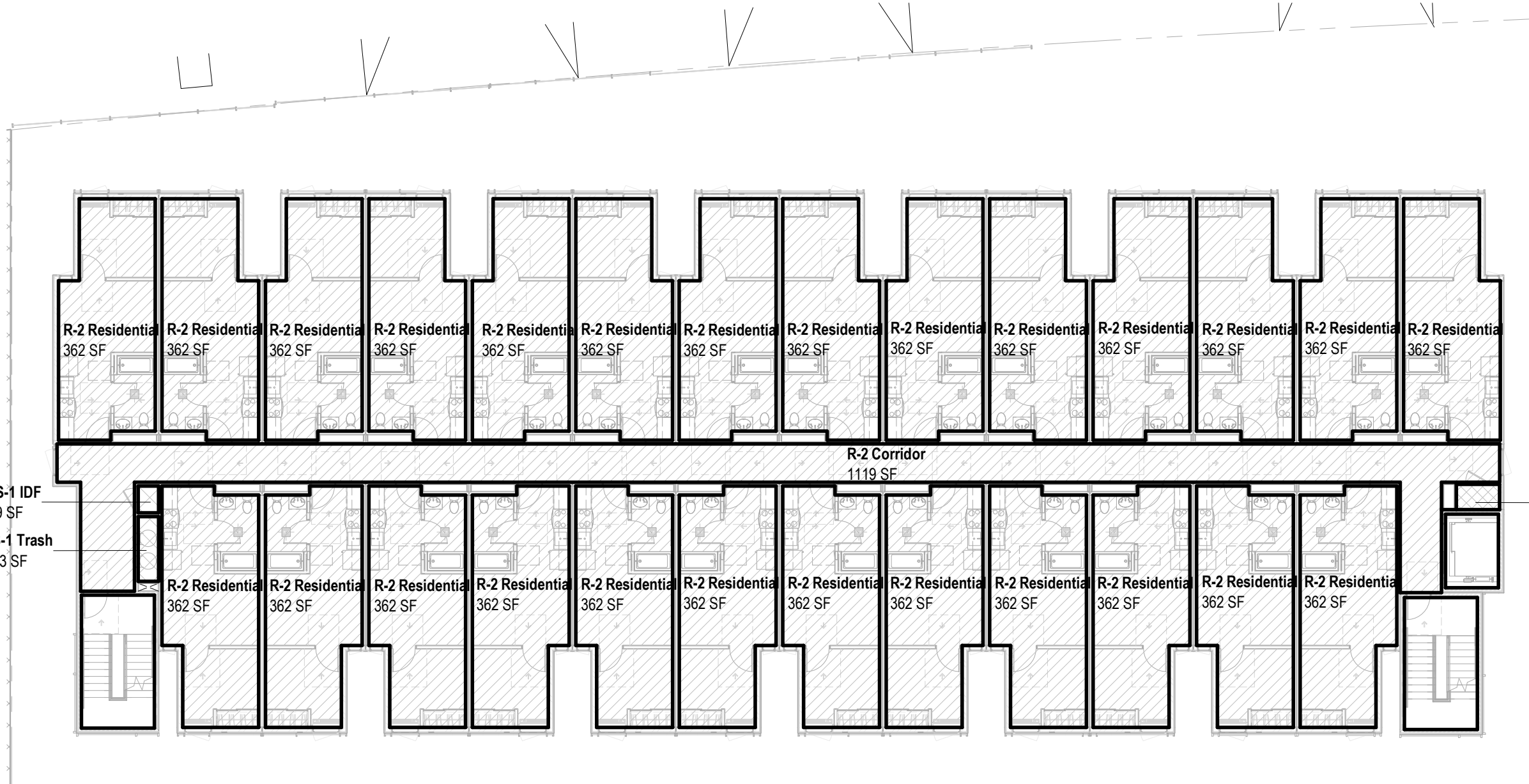
Building Occupant Load - Proposed table with columns: Occupancy, Floor Area (Gross / Net per CBC Table 1004.5), OccLoad Factor, Occ. Load. Rows include: L05, R-2, S-1 IDF, S-1 Trash, S-1-2, S-2 Storage, S-2-1.

Building Occupant Load - Proposed table with columns: Occupancy, Floor Area (Gross / Net per CBC Table 1004.5), OccLoad Factor, Occ. Load. Rows include: R-2 Residential, S-1 IDF, S-1 Trash, S-1-2, R-2-27, S-1, S-1 IDF, S-1 Trash, S-1-2.

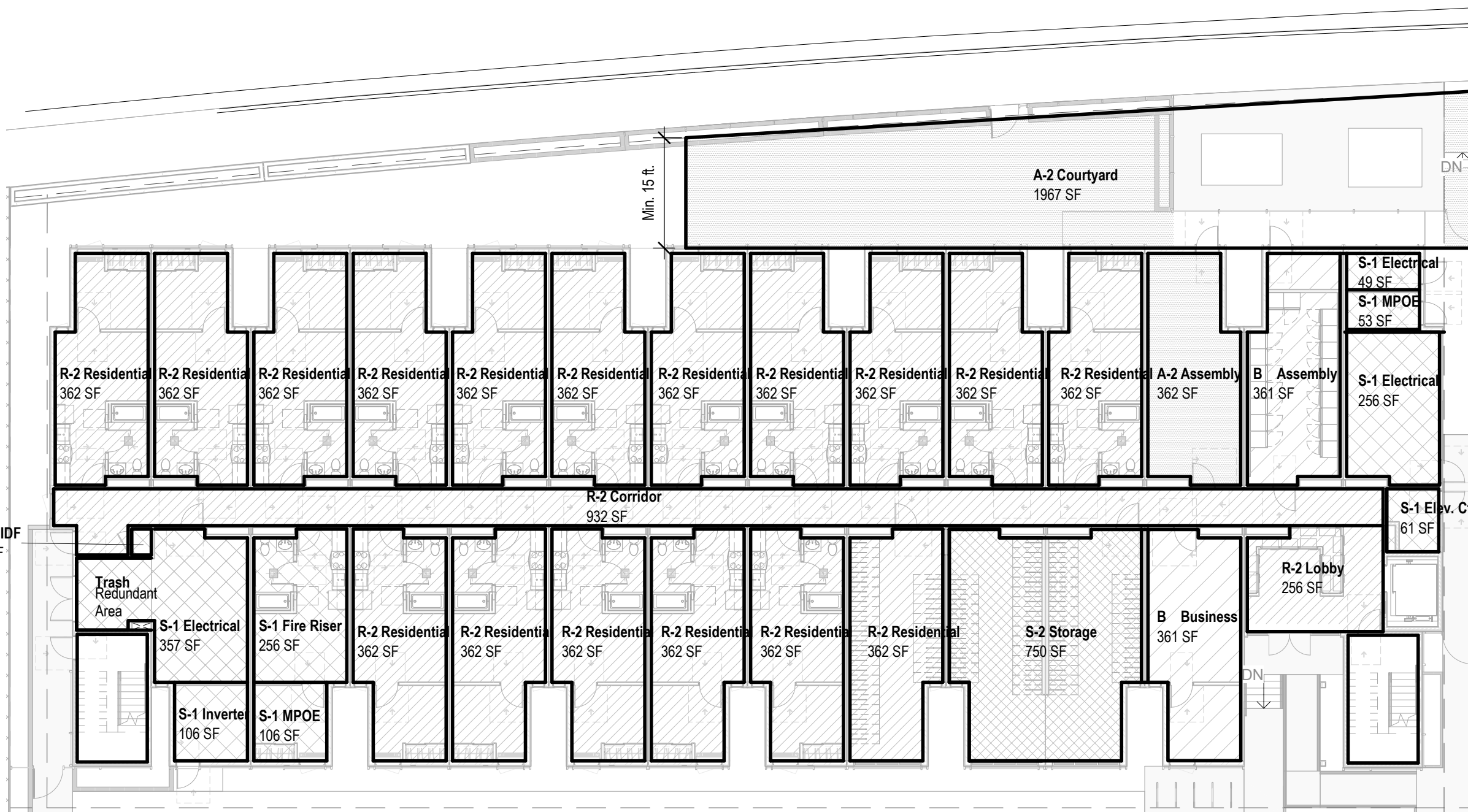
Roof table with columns: Occupancy, Floor Area (Gross / Net per CBC Table 1004.5), OccLoad Factor, Occ. Load. Rows include: A-2, A-2: 1, Occupant Load All Floors.



3 1/16" = 1'-0" Roof Level Occupancy



2 1/16" = 1'-0" L02 - L05 Occupancy



1 1/16" = 1'-0" L01 Occupancy

- A-2 (Solid Grey)
- B (Diagonal Hatching)
- M (Grid Hatching)
- R-2 (Diagonal Hatching)
- S-1 (Cross-hatching)
- S-2 (Cross-hatching)

- A-2 (Solid Grey)
- B (Diagonal Hatching)
- M (Grid Hatching)
- R-2 (Diagonal Hatching)
- S-1 (Cross-hatching)
- S-2 (Cross-hatching)

- A-2 (Solid Grey)
- B (Diagonal Hatching)
- M (Grid Hatching)
- R-2 (Diagonal Hatching)
- S-1 (Cross-hatching)
- S-2 (Cross-hatching)

EXHIBIT "A"
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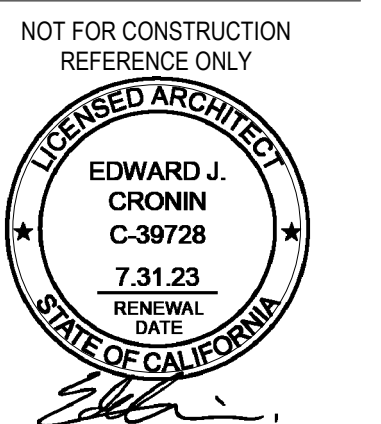
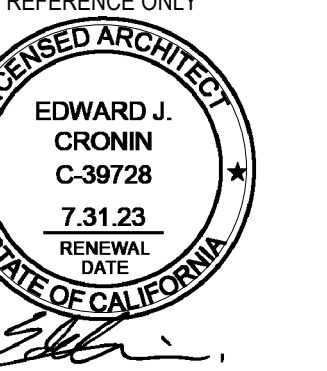


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PROJECT NO: 202203
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SCALE: As indicated

SHEET NO:

TRUE NORTH and PLAN NORTH symbols.



| DATE: | ISSUE: |
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|-------------|--------------|
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| SCALE: | As indicated |

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General Notes

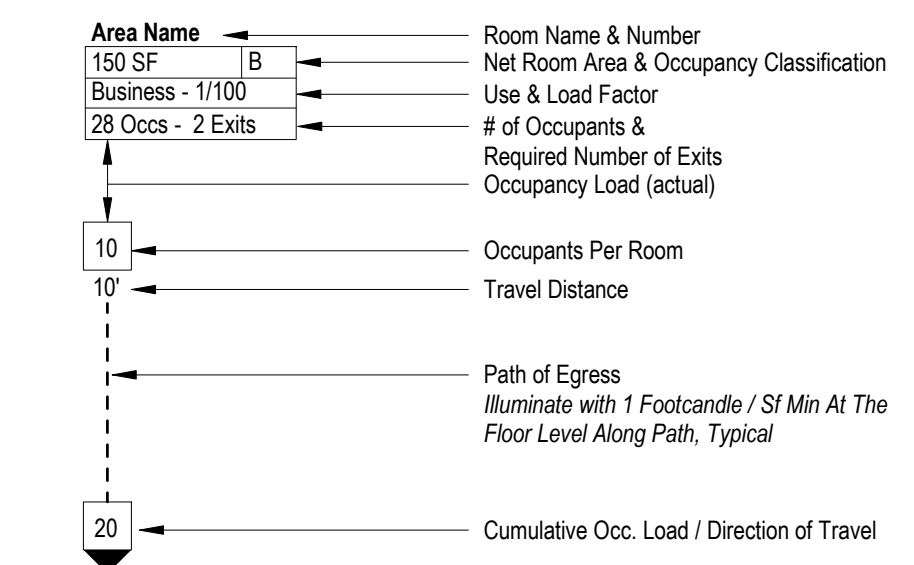
- All Exit Signs, Egress & Emergency Lighting Per Deferred Design-Build Submittal.
- All Fire Detection, Sprinkler And Alarm Systems Per Deferred Design-Build Submittal.
- Refer To Specifications For Deferred Bidder Design Submittal Requirements For Sprinkler And Standpipe Systems, Emergency Lighting, Exit Signs And Fire Detection Systems.
- A Tactile Sign Stating EXIT and complying with ICC A117.1 Shall be Provided Adjacent to Each Door to an Egress Stairway, an Exit Passageway and the Exit Discharge.
- Reference sheet G0.10 for occupancy plans and occupant load summary.
- Reference sheet AD.10-AD.12 for Door Schedule and Opening Requirements.
- General Contractor shall schedule a pre-installation conference with the building inspector to review proposed fire stopping products for the project. Prior to the scheduled meeting the general contractor shall assemble product data for each firestopping assembly with UL test report for each proposed assembly.
- Provide Automatic Sprinkler System Throughout in Accordance with NFPA 13.
- Provide Two-Way Communication System at Elevator Lobbies, Connected to and Monitored by Building Alarm System.
- Penetrations Into and Through Interior Exit Stairway Walls Are Prohibited, Except:
 - Equipment and Ductwork Necessary for Independent Ventilation and Pressurization.
 - Fire Protection Systems.
 - Security Systems.
 - Two-Way Communication System.
 - Electrical Raceway for Fire Department Communication Systems.
 - Electrical Raceway Serving Interior Exit Stairway and Terminating at a Steel Box Not Exceeding 18 Square Inches.
- Provide a Portable Fire Extinguisher with a Minimum Rating of 1-A:10-B:C in Each Unit Kitchen.
- 0.2 Occupant Load Factor at Stairways (CBC 1005.3.1 Stairways, Exception 1); 44" Minimum Width at Stairways (CBC 1011.2 Width and Capacity); 36" Minimum Width at Stairways for Occupant Load < 50.
- 0.15" Occupant Load Factor at Other Egress Components (CBC 1005.3.2 Other Egress Components, Exception 1).
- Walks, Pedestrian Ways, and Other Circulation Spaces Which are Part of the Required Egress System Shall have a Minimum Clear Headroom as Required in Section 1003.2. Other Walks, Pedestrian Ways, and Circulation Spaces Shall have a Minimum Clear Headroom of 80 inches.

Fire Rated Separations

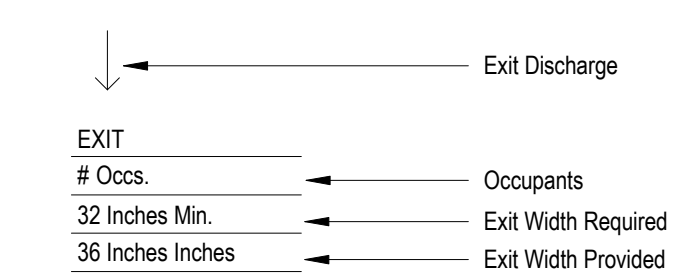
- 1/2 Hour Fire Partition
- 1 Hour Fire Partition
- 2 Hour Fire Barrier
- 3 Hour Fire Barrier

Symbols Legend

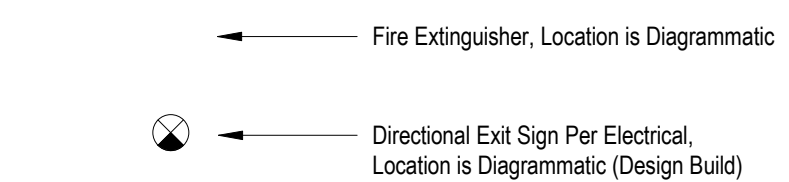
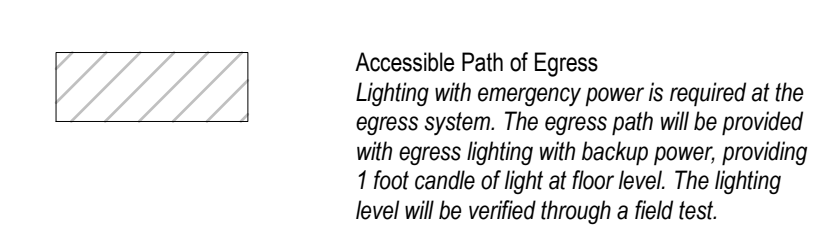
Room Data



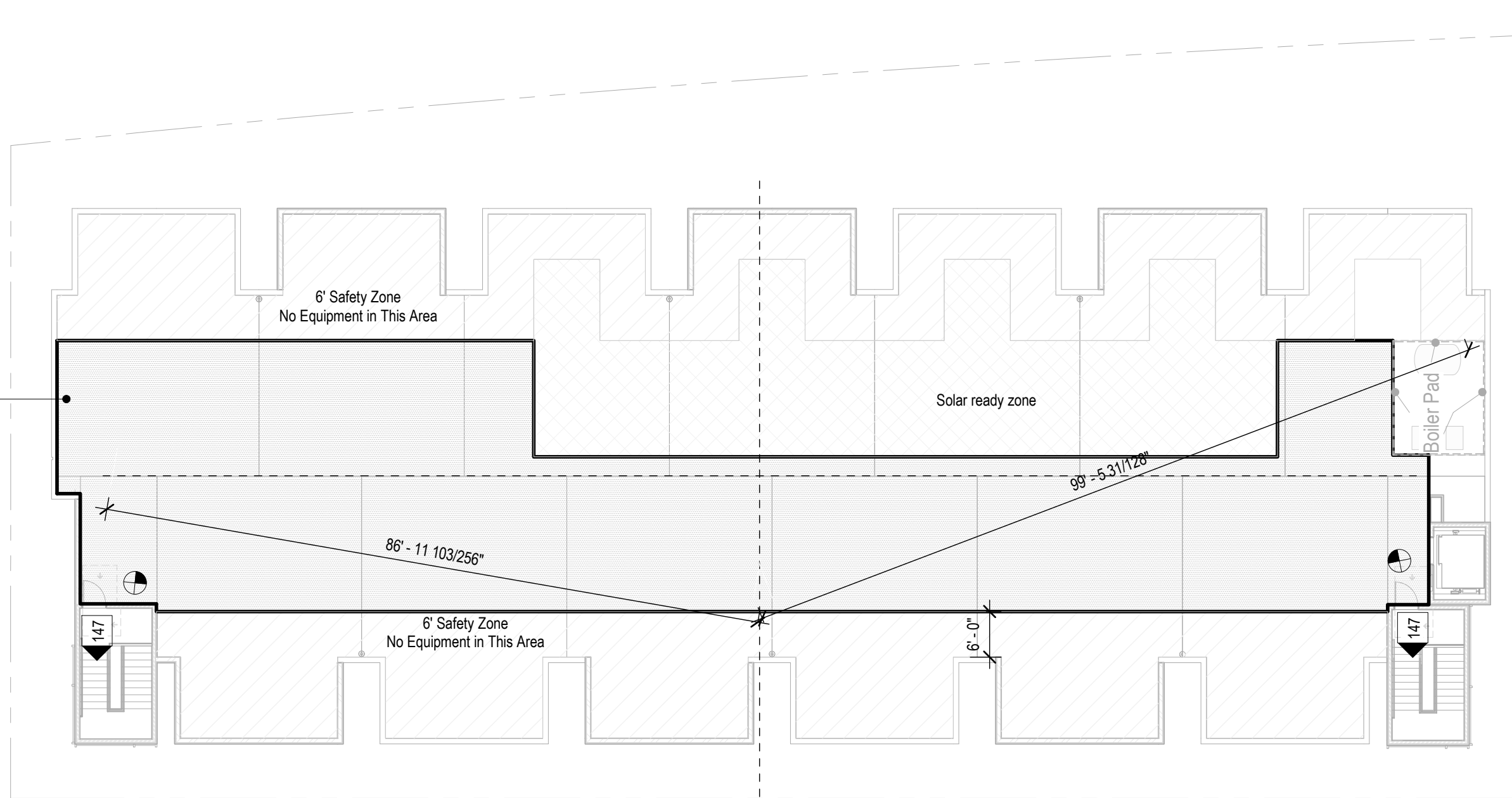
Exiting Data



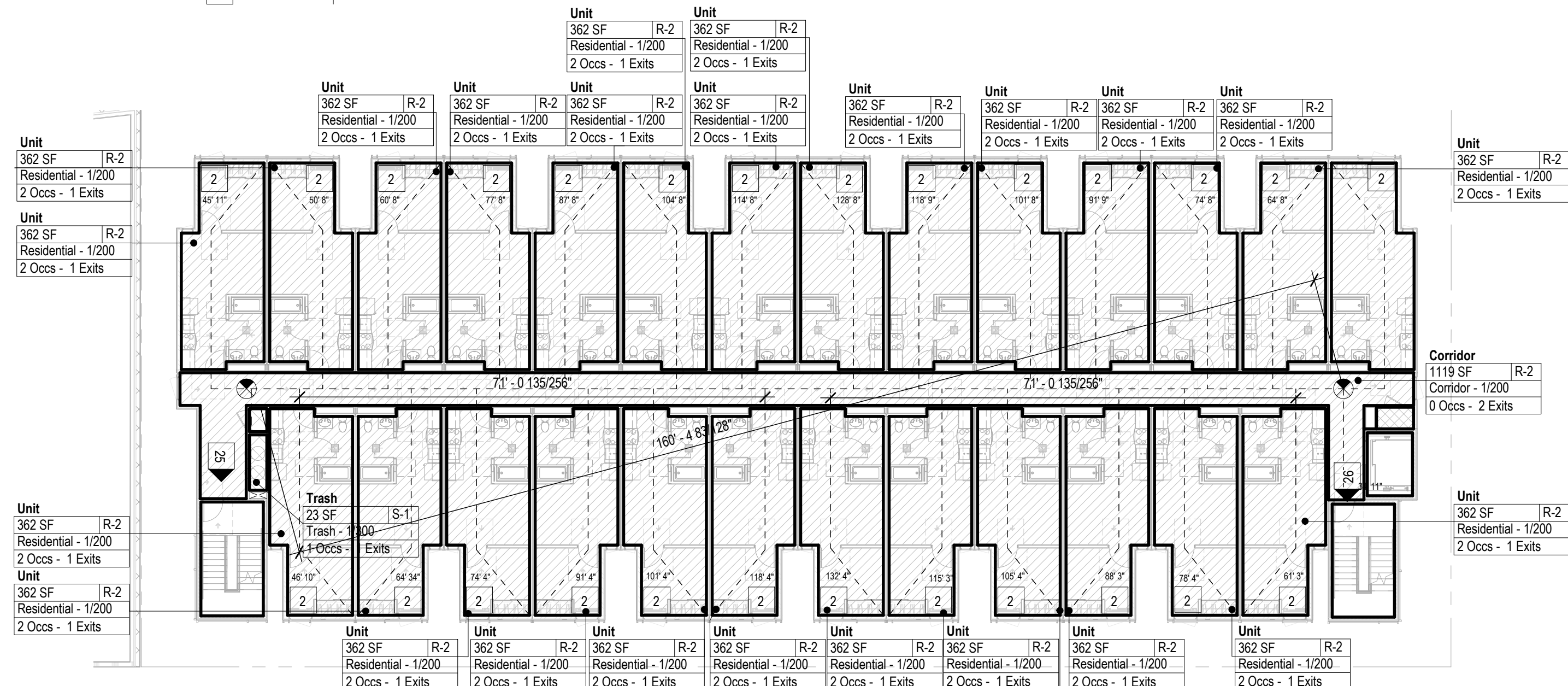
Area Designation



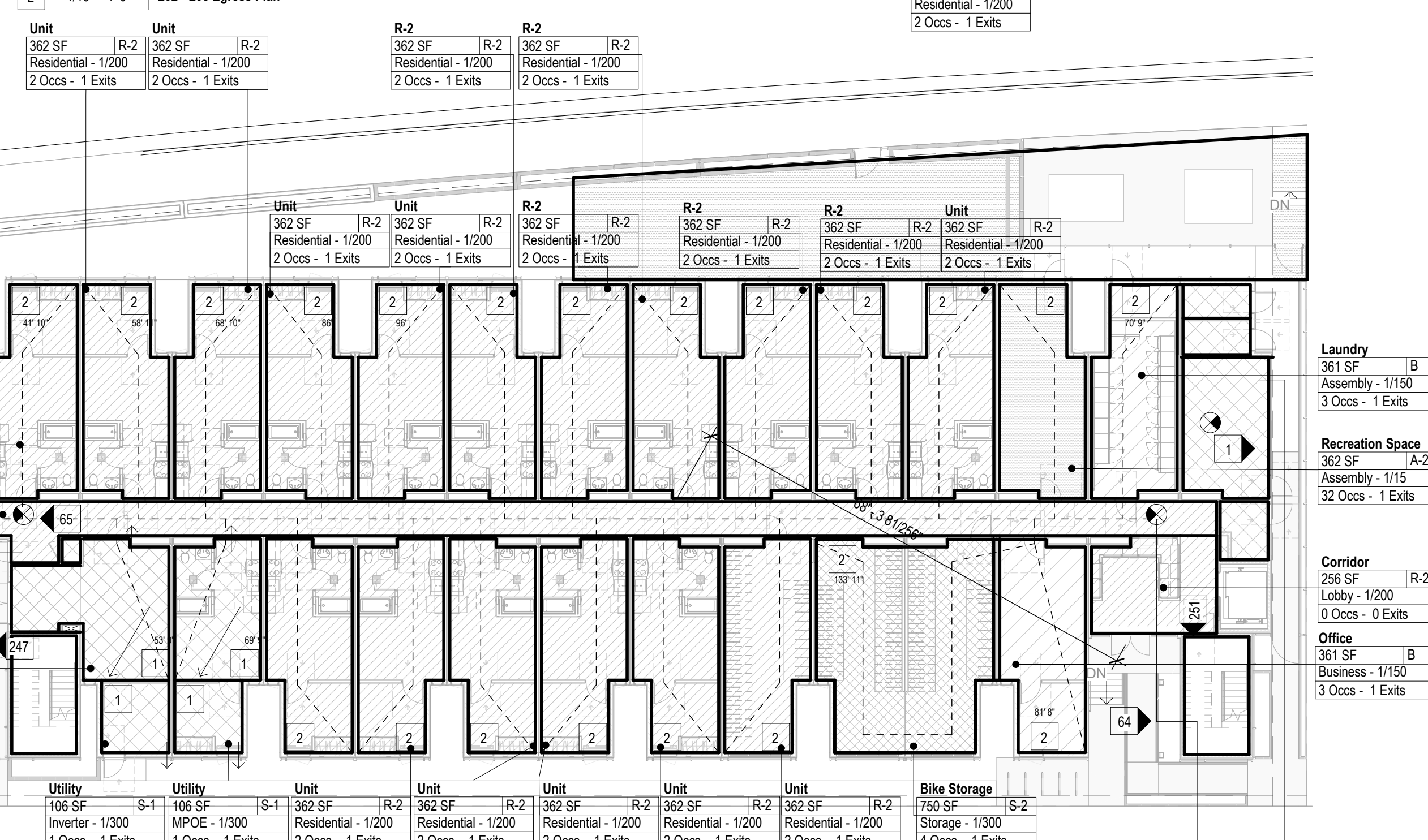
Note: See Door Schedule For Fire Rated Doors



3 1/16" = 1'-0" Roof Egress Plan



2 1/16" = 1'-0" L02 - L05 Egress Plan



1 1/16" = 1'-0" L01 - Egress Plan

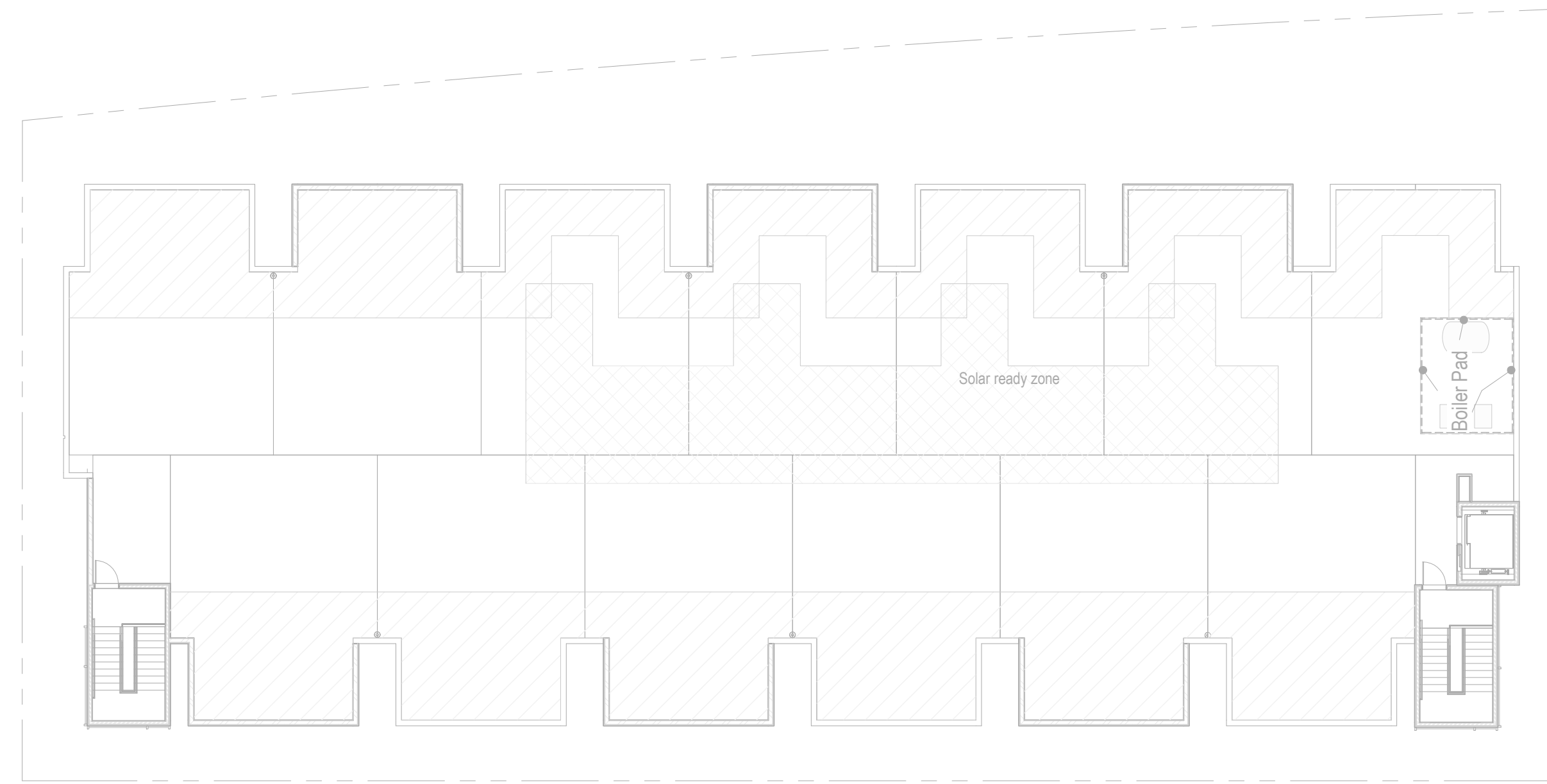
- A-2
- B
- M
- R-2
- S-1
- S-2

- A-2
- B
- M
- R-2
- S-1
- S-2

- A-2
- B
- M
- R-2
- S-1
- S-2

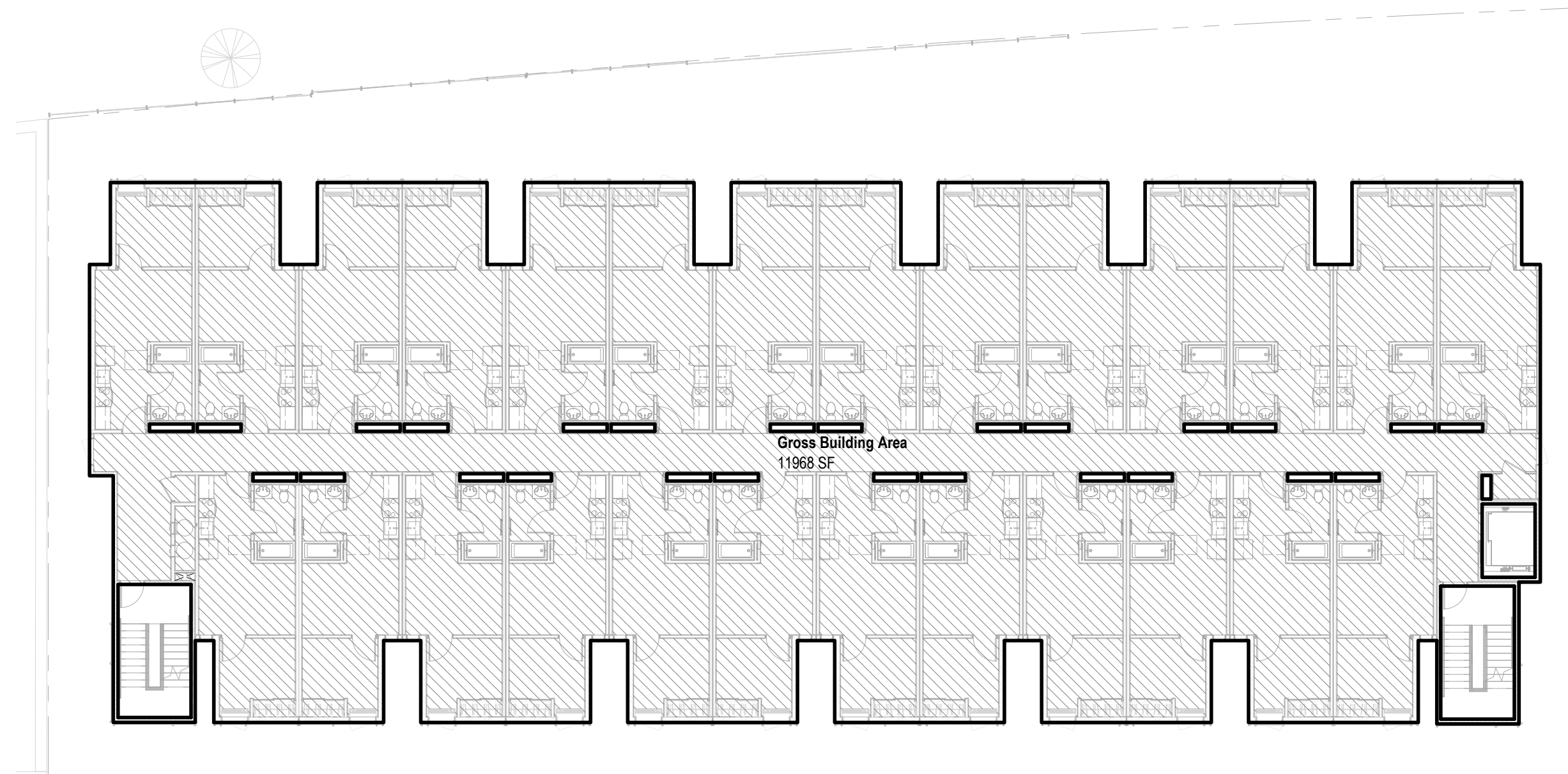
| Gross Square Footage Schedule | | | |
|-------------------------------|---------------------|----------|----------|
| Level | Area Type | Area | Comments |
| L01 | Gross Building Area | 12589 SF | |
| L02 | Gross Building Area | 11968 SF | |
| L03 | Gross Building Area | 11846 SF | |
| L04 | Gross Building Area | 11846 SF | |
| L05 | Gross Building Area | 11846 SF | |
| Total GSF | | 60095 SF | |

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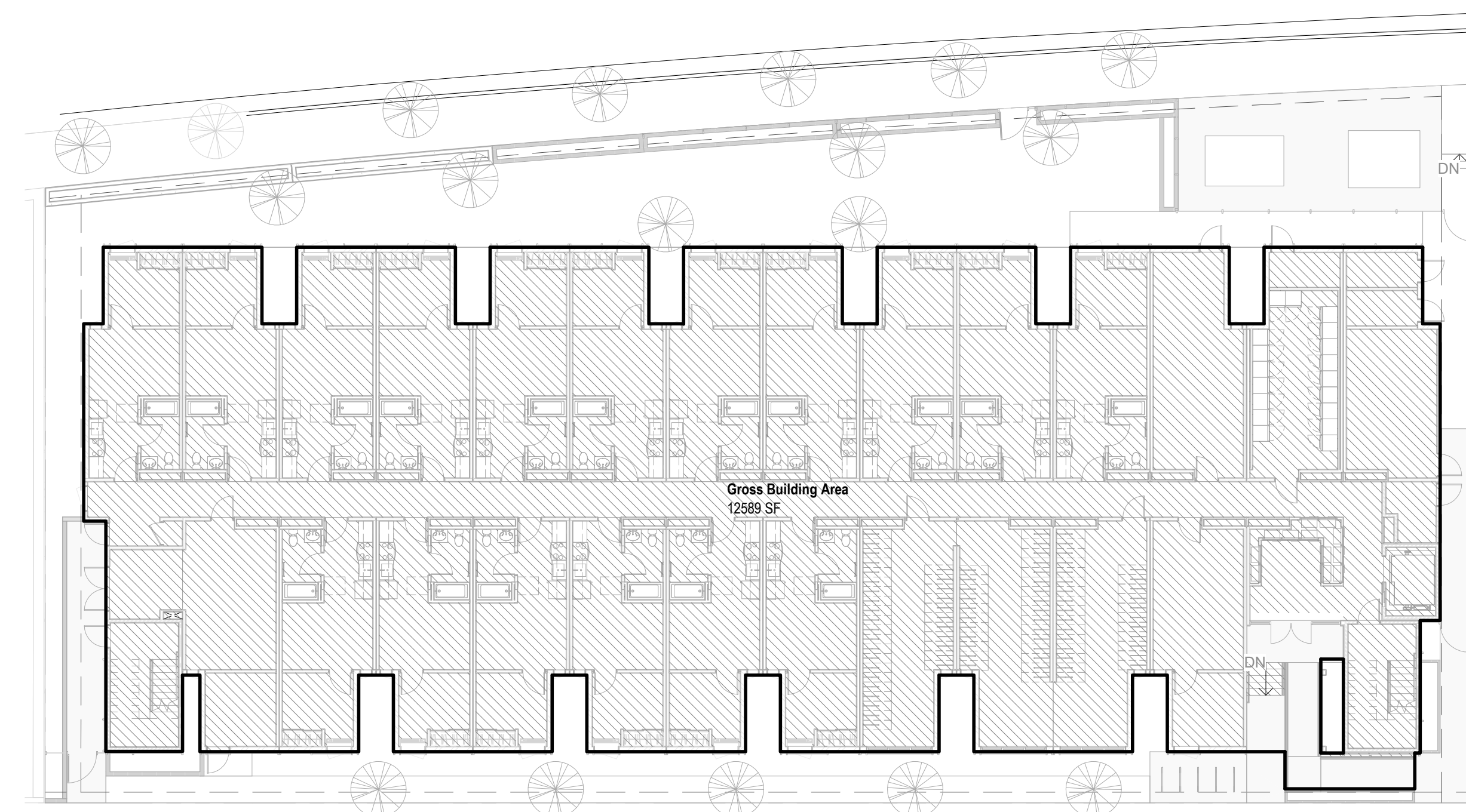
3 1/16" = 1'-0" Roof Level Gross Square Footage

Gross Building Area



2 1/16" = 1'-0" L02 - L05 Gross Square Footage

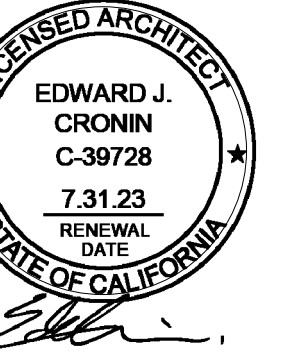
Gross Building Area



1 1/16" = 1'-0" L01 Gross Square Footage

Gross Building Area

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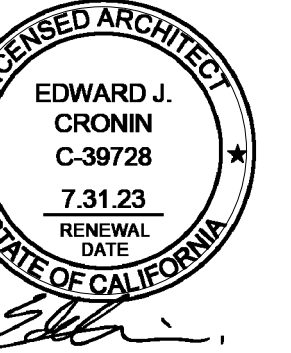
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| PROJECT NO : | 202203 |
| DRAWN BY : | Author |
| CHECKED BY : | Checker |
| SCALE : | 1/16" = 1'-0" |

SHEET NO :

| Building Area Schedule | | |
|------------------------|-------|----------|
| Name | Count | Area |
| Unit | 26 | 10821 SF |
| L04 | | 12513 SF |
| L05 | | |
| Circulation | 1 | 1162 SF |
| Shaft | 1 | 4 SF |
| Trash | 1 | 28 SF |
| Utility | 1 | 13 SF |
| Vert Circ | 3 | 484 SF |

| Building Area Schedule | | |
|------------------------|-------|----------|
| Name | Count | Area |
| Unit | 26 | 10821 SF |
| L05 | | 12513 SF |
| Roof | | |
| Roof Deck | 1 | 4803 SF |

| Building Area Schedule | | |
|------------------------|-------|----------|
| Name | Count | Area |
| Vert Circ | 3 | 485 SF |
| Roof | | 5288 SF |
| Grand Total SF | | 67621 SF |

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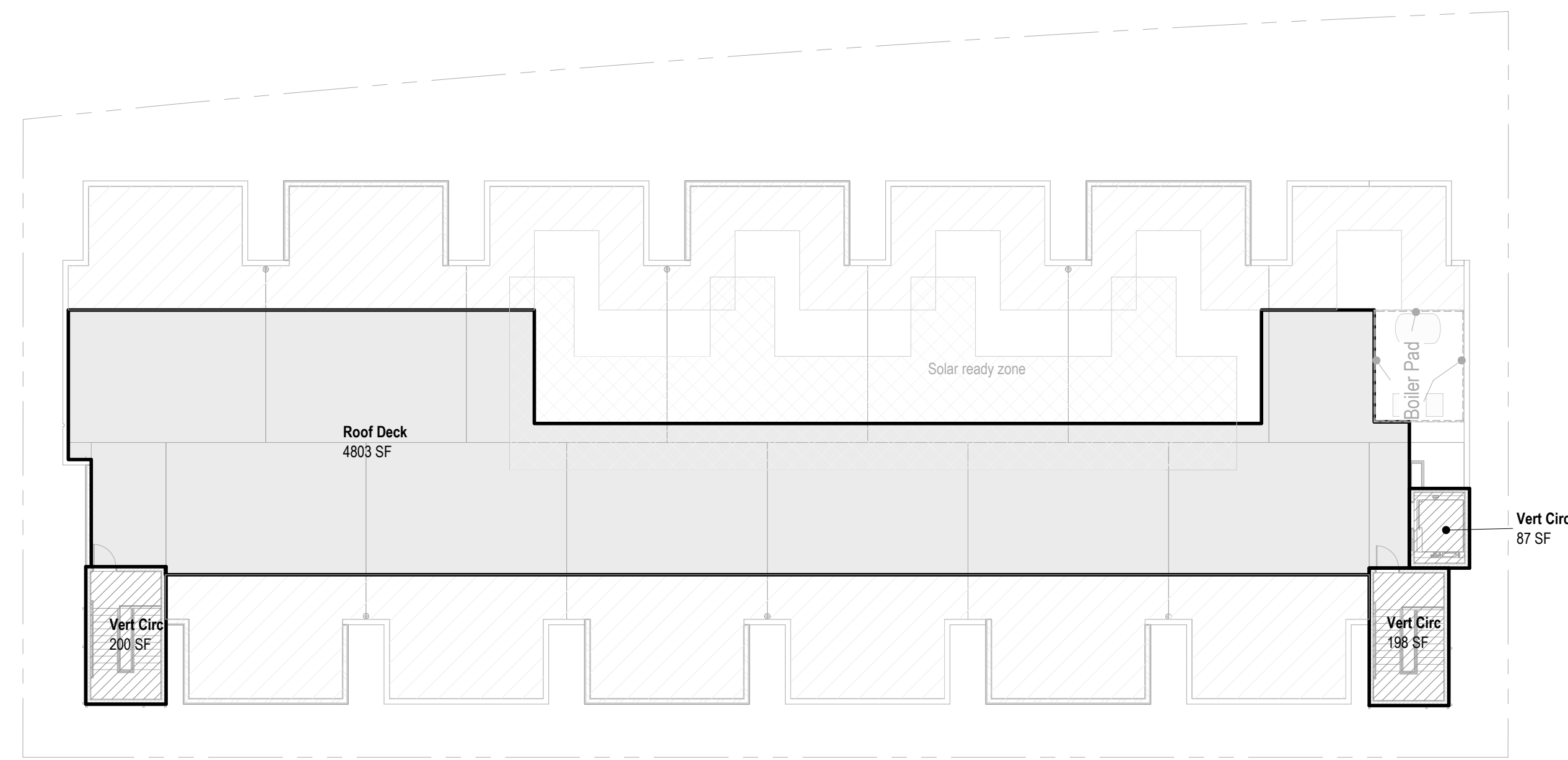
| Building Area Schedule | | |
|------------------------|-------|---------|
| Name | Count | Area |
| L01 | | |
| Leasing Office | 1 | 124 SF |
| Mall / Lobby | 1 | 272 SF |
| Office | 1 | 292 SF |
| Bicycle | 1 | 1248 SF |
| Circulation | 1 | 936 SF |
| Electric | 1 | 292 SF |
| Electrical | 1 | 124 SF |
| Elev. Control | 1 | 69 SF |
| Fire Riser | 1 | 124 SF |
| Inverter | 1 | 65 SF |
| Laundry | 1 | 416 SF |
| MPOE | 1 | 59 SF |
| Shaft | 1 | 3 SF |
| Trash | 1 | 389 SF |
| Utility | 1 | 14 SF |
| Vert Circ | 3 | 484 SF |

| Building Area Schedule | | |
|------------------------|-------|----------|
| Name | Count | Area |
| Recreation | 1 | 292 SF |
| Unit | 17 | 7078 SF |
| L01 | | 12282 SF |
| L02 | | |
| Circulation | 1 | 1162 SF |
| Shaft | 1 | 4 SF |
| Trash | 1 | 28 SF |
| Utility | 1 | 13 SF |
| Vert Circ | 3 | 484 SF |

| Building Area Schedule | | |
|------------------------|-------|----------|
| Name | Count | Area |
| Unit | 26 | 10821 SF |
| L02 | | 12513 SF |
| L03 | | |
| Circulation | 1 | 1162 SF |
| Shaft | 1 | 4 SF |
| Trash | 1 | 28 SF |
| Utility | 1 | 13 SF |
| Vert Circ | 3 | 484 SF |

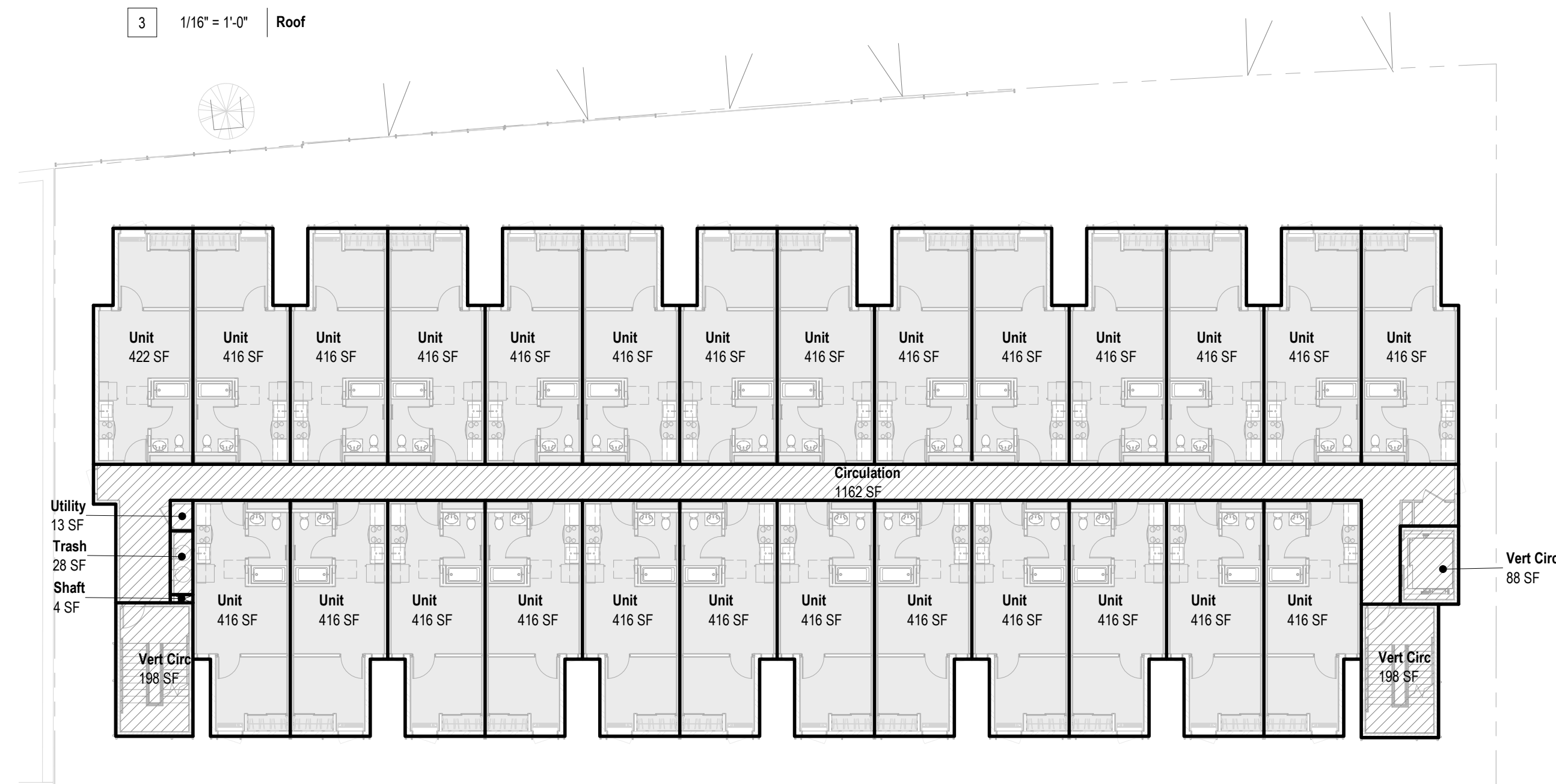
| Building Area Schedule | | |
|------------------------|-------|----------|
| Name | Count | Area |
| Unit | 26 | 10821 SF |
| L03 | | 12513 SF |
| L04 | | |
| Circulation | 1 | 1162 SF |
| Shaft | 1 | 4 SF |
| Trash | 1 | 28 SF |
| Utility | 1 | 13 SF |
| Vert Circ | 3 | 484 SF |

Building Area
Omit



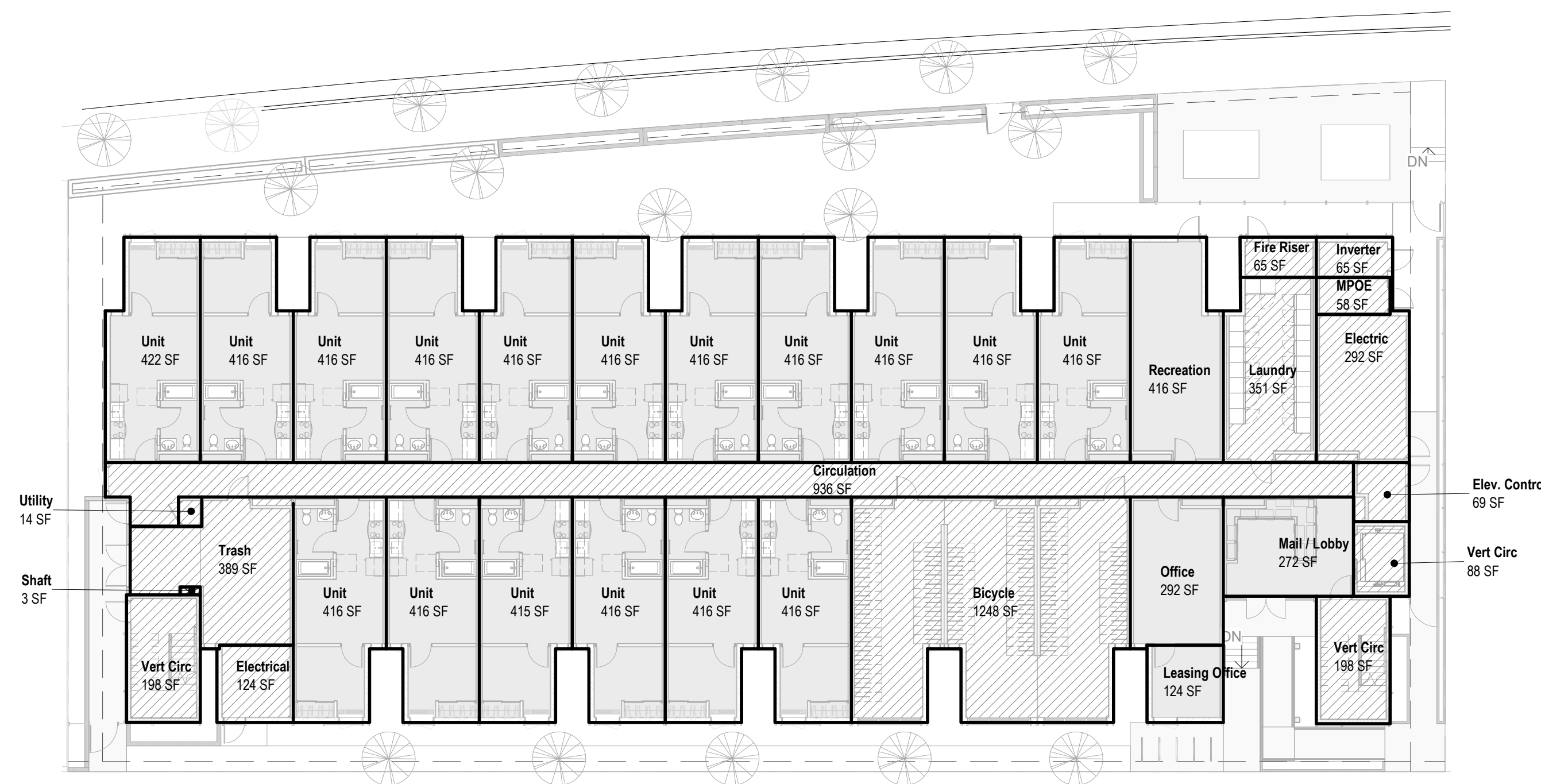
3 1/16" = 1'-0" Roof

Building Area
Omit



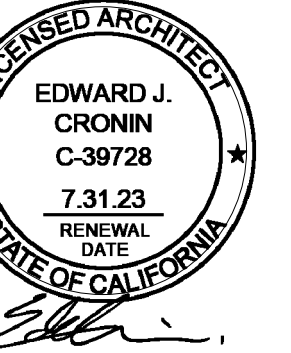
2 1/16" = 1'-0" L02

Building Area
Omit



1 1/16" = 1'-0" L01

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| PROJECT NO : | 202203 |
| DRAWN BY : | Author |
| CHECKED BY : | Checker |
| SCALE : | 1/16" = 1'-0" |

SHEET NO :



| Unit Mix | | | |
|-----------|--------|-------|------------|
| Unit Type | Area | Count | Total Area |
| L01 | | | |
| Unit A | 388 SF | 8 | 3101 SF |
| Unit A-R | 388 SF | 9 | 3489 SF |
| L01 | | | 6591 SF |

| Unit Mix | | | |
|-----------|--------|-------|------------|
| Unit Type | Area | Count | Total Area |
| L04 | | | |
| Unit A | 388 SF | 13 | 5040 SF |
| Unit A-R | 388 SF | 13 | 5040 SF |
| L04 | | | 10080 SF |

| Unit Mix | | | |
|-----------|--------|-------|------------|
| Unit Type | Area | Count | Total Area |
| L02 | | | |
| Unit A | 388 SF | 13 | 5040 SF |
| Unit A-R | 388 SF | 13 | 5040 SF |
| L02 | | | 10080 SF |

| Unit Mix | | | |
|-----------|--------|-------|------------|
| Unit Type | Area | Count | Total Area |
| L05 | | | |
| Unit A | 388 SF | 13 | 5040 SF |
| Unit A-R | 388 SF | 13 | 5040 SF |
| L05 | | | 10080 SF |

| Unit Mix | | | |
|-----------|--------|-------|------------|
| Unit Type | Area | Count | Total Area |
| L03 | | | |
| Unit A | 388 SF | 13 | 5040 SF |
| Unit A-R | 388 SF | 13 | 5040 SF |
| L03 | | | 10080 SF |

| Unit Mix | | | |
|----------------|------|-------|------------|
| Unit Type | Area | Count | Total Area |
| Grand total SF | | | 46909 SF |

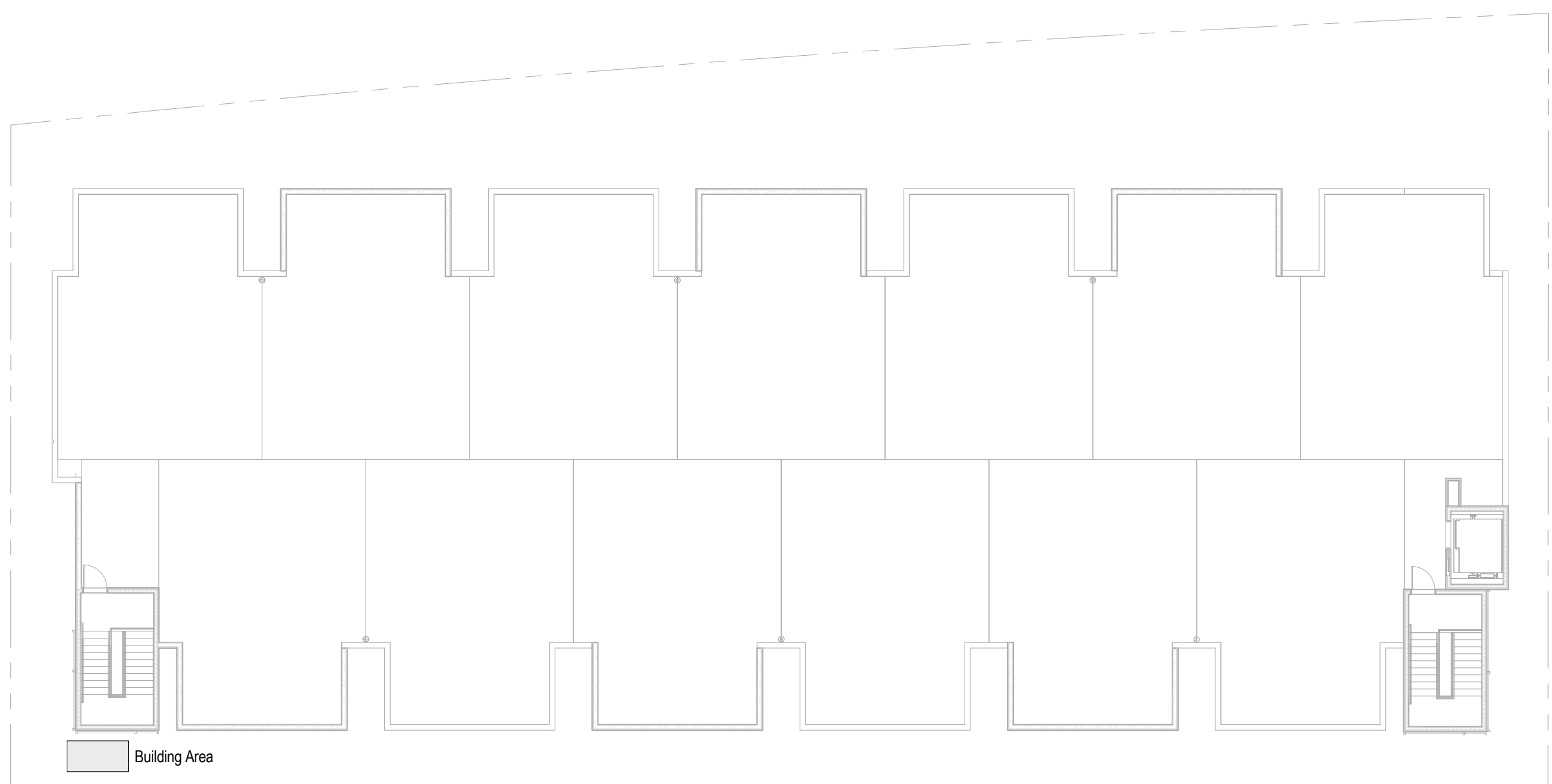
| Unit Mix Summary | | | |
|------------------|--------|-------|------------|
| Unit Type | Area | Count | Total Area |
| Unit A | 388 SF | 60 | 23261 SF |
| Unit A-R | 388 SF | 61 | 23648 SF |
| Total | | 121 | 46909 SF |

| Unit Type | Count |
|-----------|-------|
| 1-Bedroom | 121 |
| Total: | 121 |

**"-R" Denotes "Reverse"

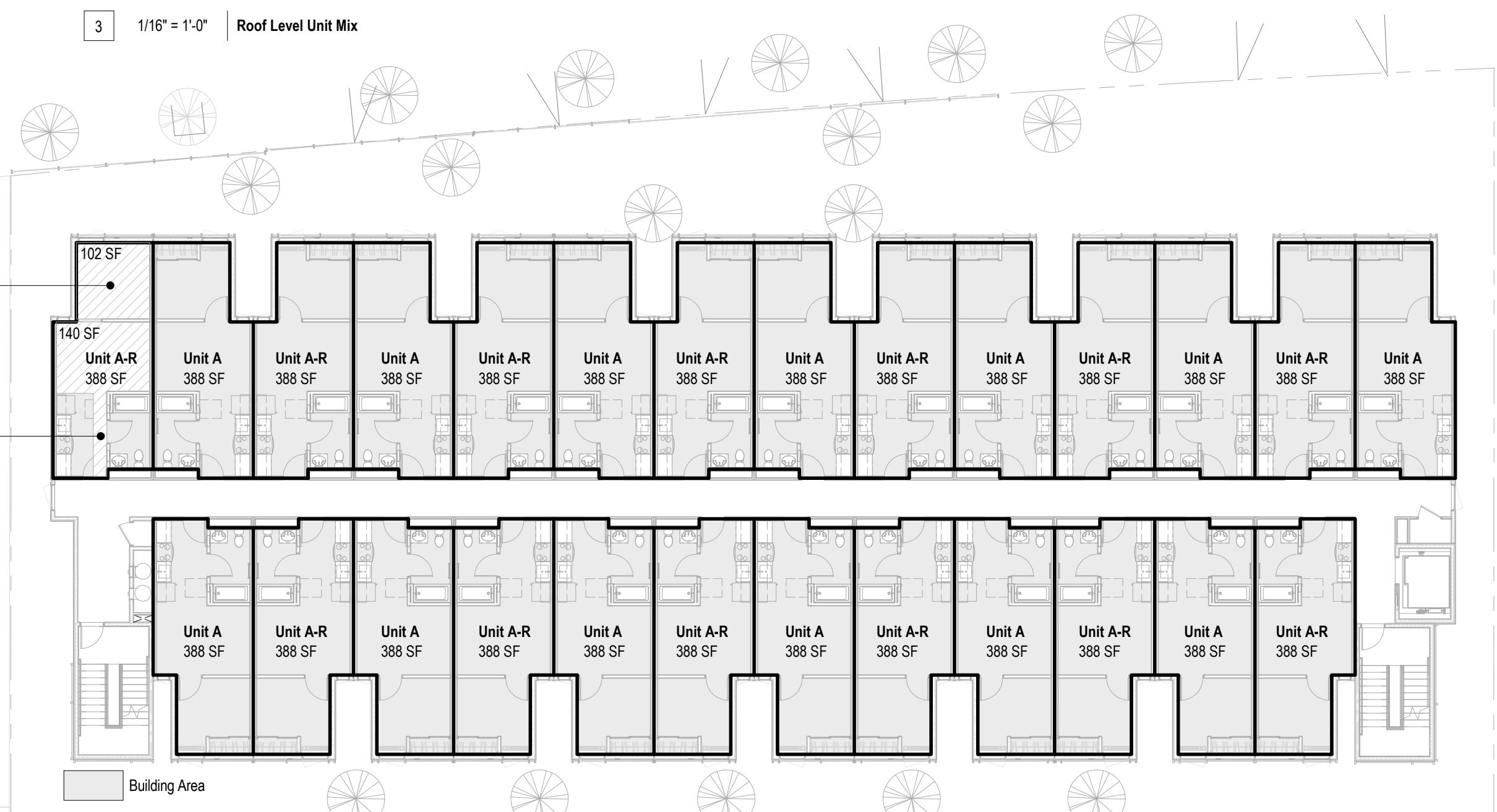
| Section 8 Unit Compliance | |
|---|-------------|
| Unit A (Typical 1 Bedroom in Project) | |
| Unit A-R (Typical 1 Bedroom in Project) | See 2/G0.14 |

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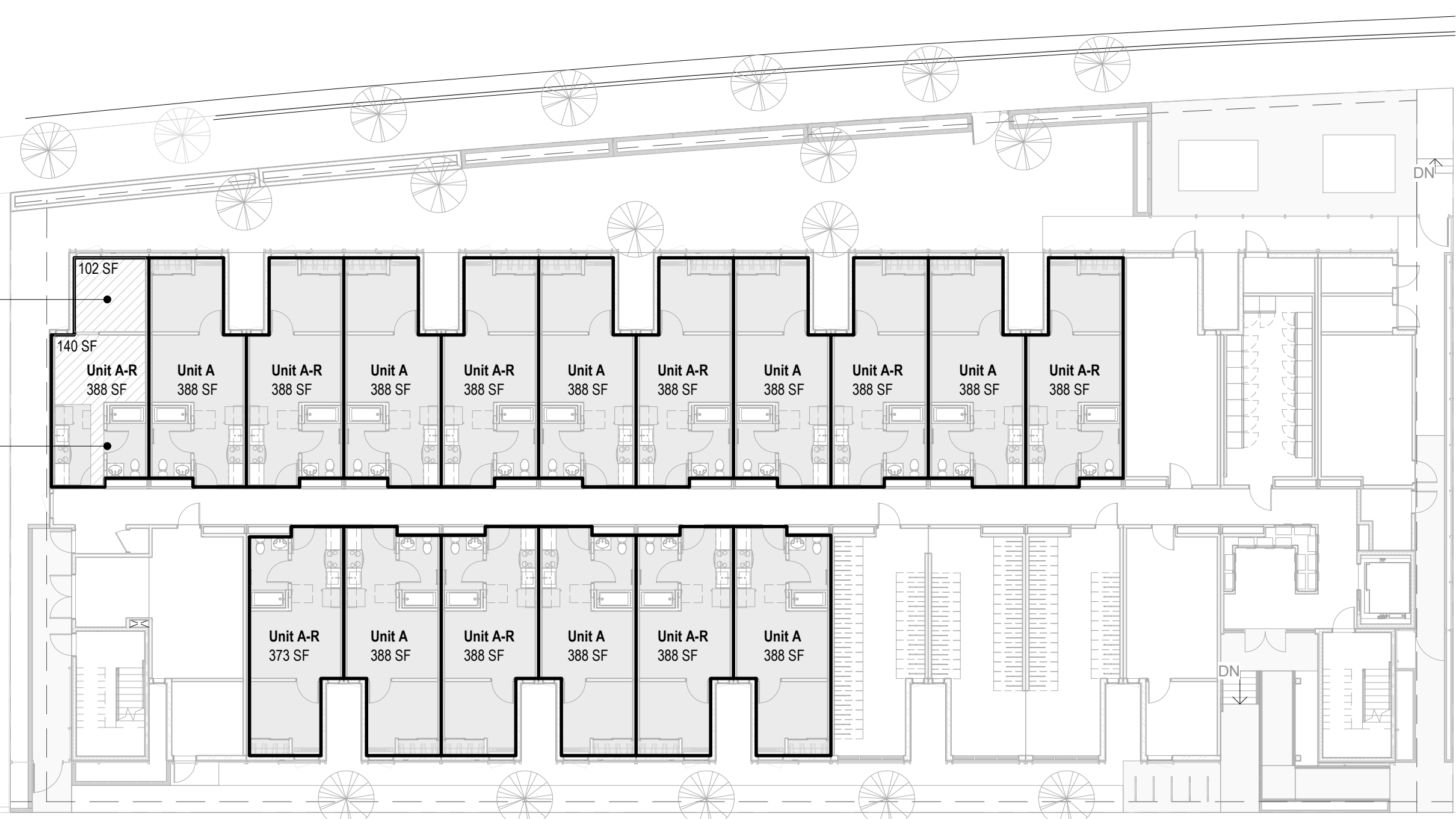
3 1/16" = 1'-0" Roof Level Unit Mix

Section 8 Minimum Size Compliance (Min. 70 SF of usable space and a closet in Bedroom)
Section 8 Minimum Size Compliance (Every dwelling unit shall have at least one habitable room with a minimum of 120 SF of floor area.); See Also Section 8 Unit Compliance in the Legend on this Sheet



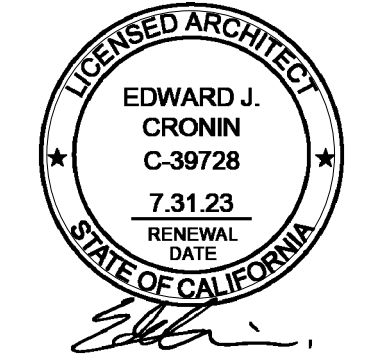
2 1/16" = 1'-0" L02 - L05 Unit Mix

Section 8 Minimum Size Compliance (Min. 70 SF of usable space and a closet in Bedroom)
Section 8 Minimum Size Compliance (Every dwelling unit shall have at least one habitable room with a minimum of 120 SF of floor area.); See Also Section 8 Unit Compliance in the Legend on this Sheet



1 1/16" = 1'-0" L01 Unit Mix

Building Area



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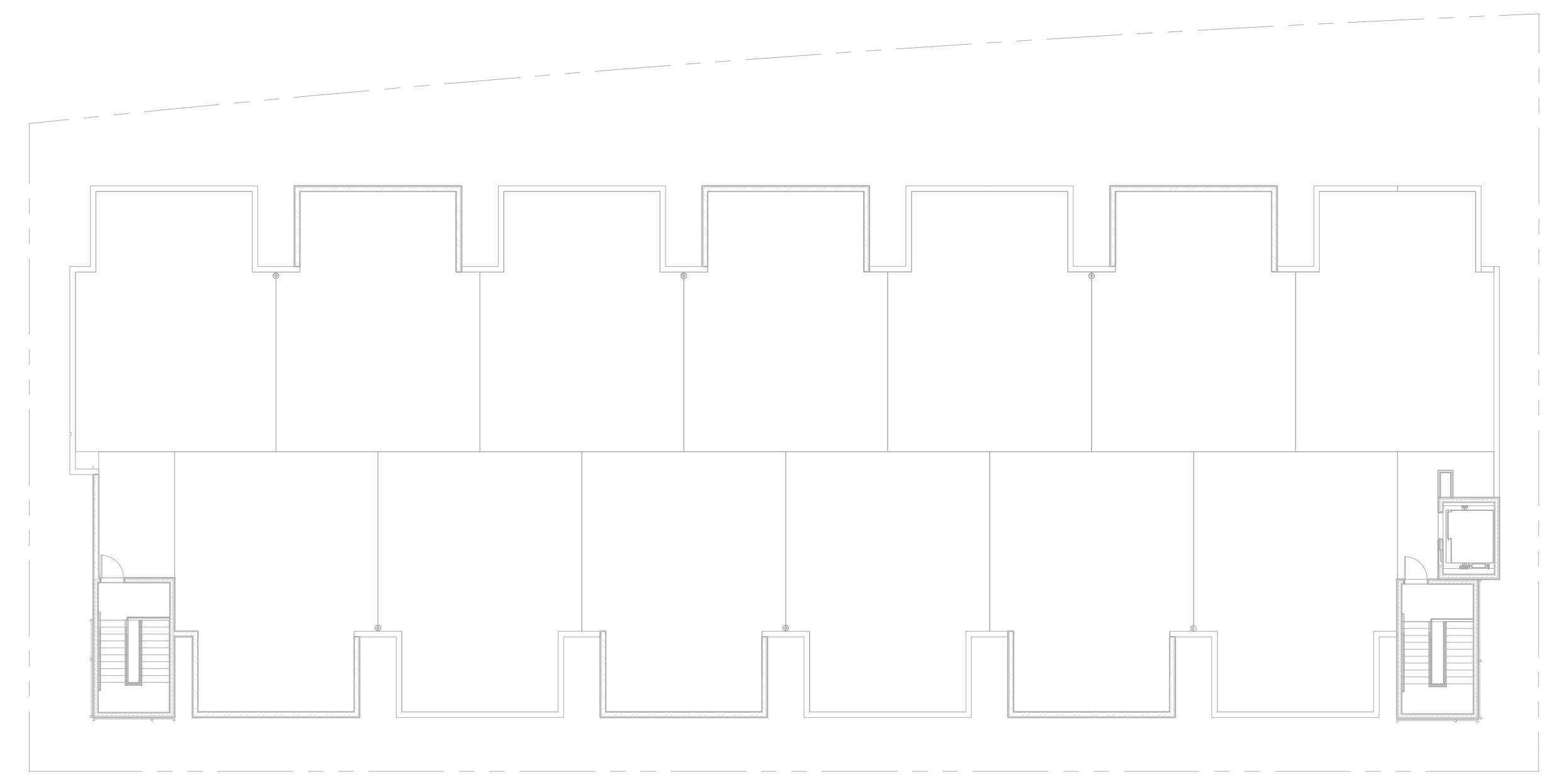
SHEET NO:

Area Plans - FAR

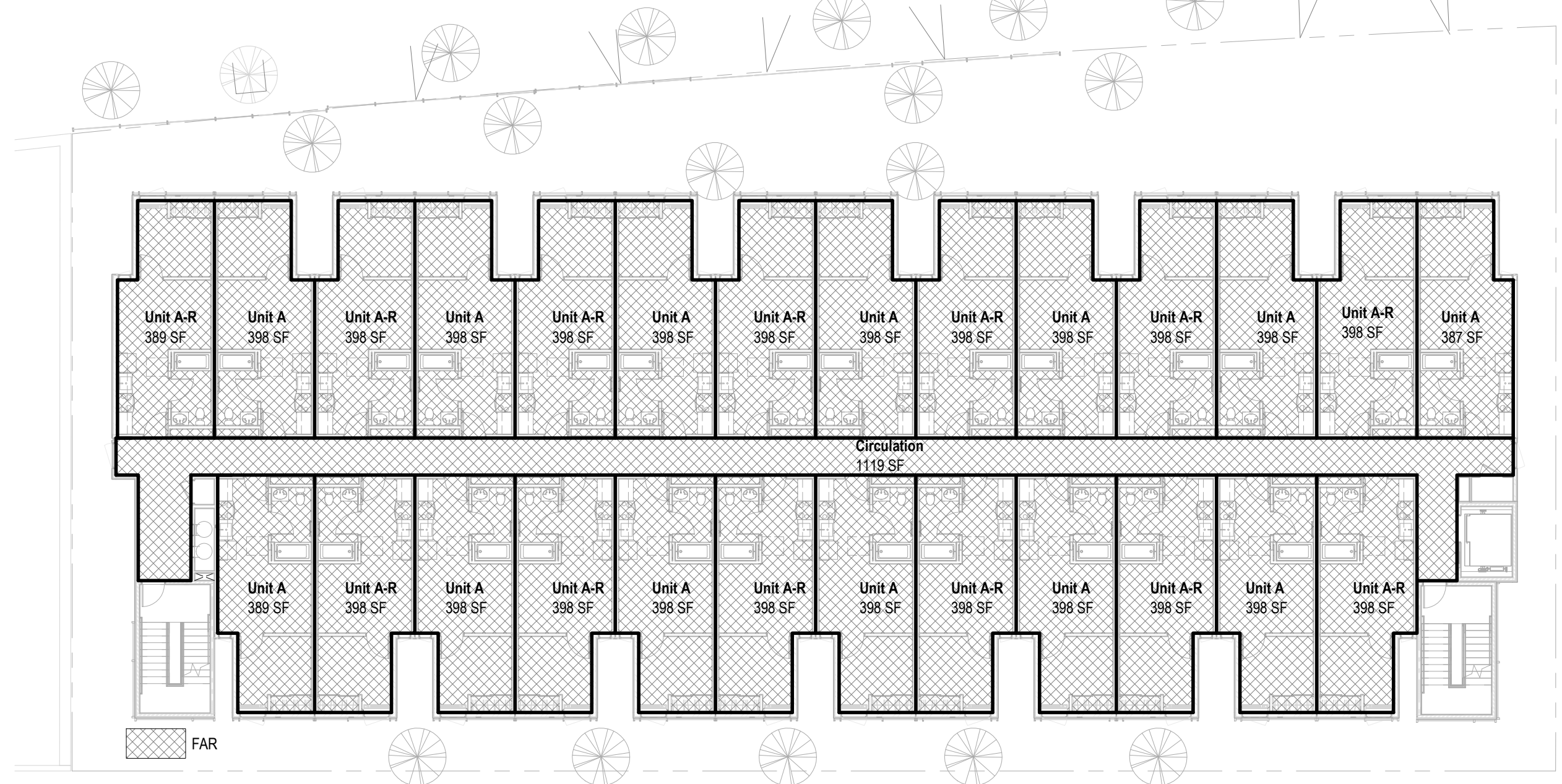
| Name | Level | Area |
|--------------------|-------|-----------------|
| L01 | | |
| Circulation | L01 | 994 SF |
| Laundry | L01 | 394 SF |
| Lobby | L01 | 272 SF |
| Office | L01 | 398 SF |
| Recreation | L01 | 394 SF |
| Trash & Recycling | L01 | 389 SF |
| Unit A | L01 | 5169 SF |
| Unit A-R | L01 | 3953 SF |
| L01: 24 | | 9963 SF |
| L02 | | |
| Circulation | L02 | 1119 SF |
| Unit A | L02 | 5157 SF |
| Unit A-R | L02 | 5169 SF |
| L02: 27 | | 11445 SF |
| L03 | | |
| Circulation | L03 | 1065 SF |
| Unit A | L03 | 5169 SF |
| Unit A-R | L03 | 5169 SF |
| L03: 27 | | 11402 SF |
| L04 | | |
| Circulation | L04 | 1065 SF |
| Unit A | L04 | 5169 SF |
| Unit A-R | L04 | 5169 SF |
| L04: 27 | | 11402 SF |
| L05 | | |
| Circulation | L05 | 1065 SF |
| Unit A | L05 | 5169 SF |
| Unit A-R | L05 | 5169 SF |
| L05: 27 | | 11402 SF |
| Grand total | | 55616 SF |

Allowable FAR per AB 2345: **4.05:1**
 Buildable Lot Area: 18,829 SF
 Allowable FAR: 18,829 x 4.05 = **76,257 SF**
 Proposed FAR: 54,590 SF (2.90:1)

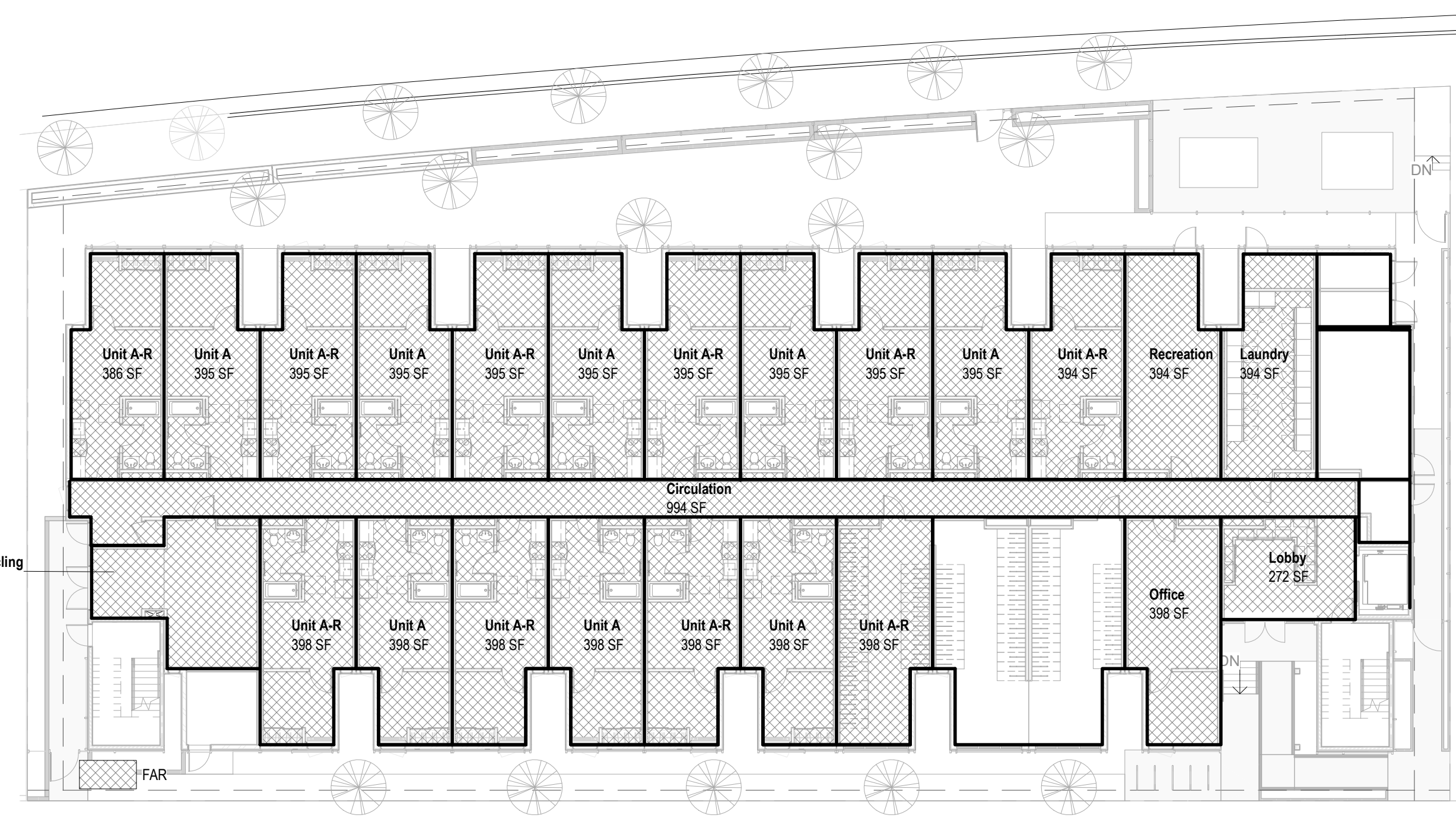
Note:
 LAMC 12.03. DEFINITIONS. FLOOR AREA. (Amended by Ord. No. 182,386, Eff. 3/13/13.)
 The area in square feet confined within the exterior walls of a Building, but not including the area of the following: exterior walls, stairways, shafts, rooms housing Building operating equipment or machinery, parking areas with associated driveways and ramps, space dedicated to bicycle parking, space for the landing and storage of helicopters, and Basement storage areas.



3 1/16" = 1'-0" Roof Level - FAR



2 1/16" = 1'-0" L02 - L05 Unit FAR



1 1/16" = 1'-0" L01 Unit - FAR

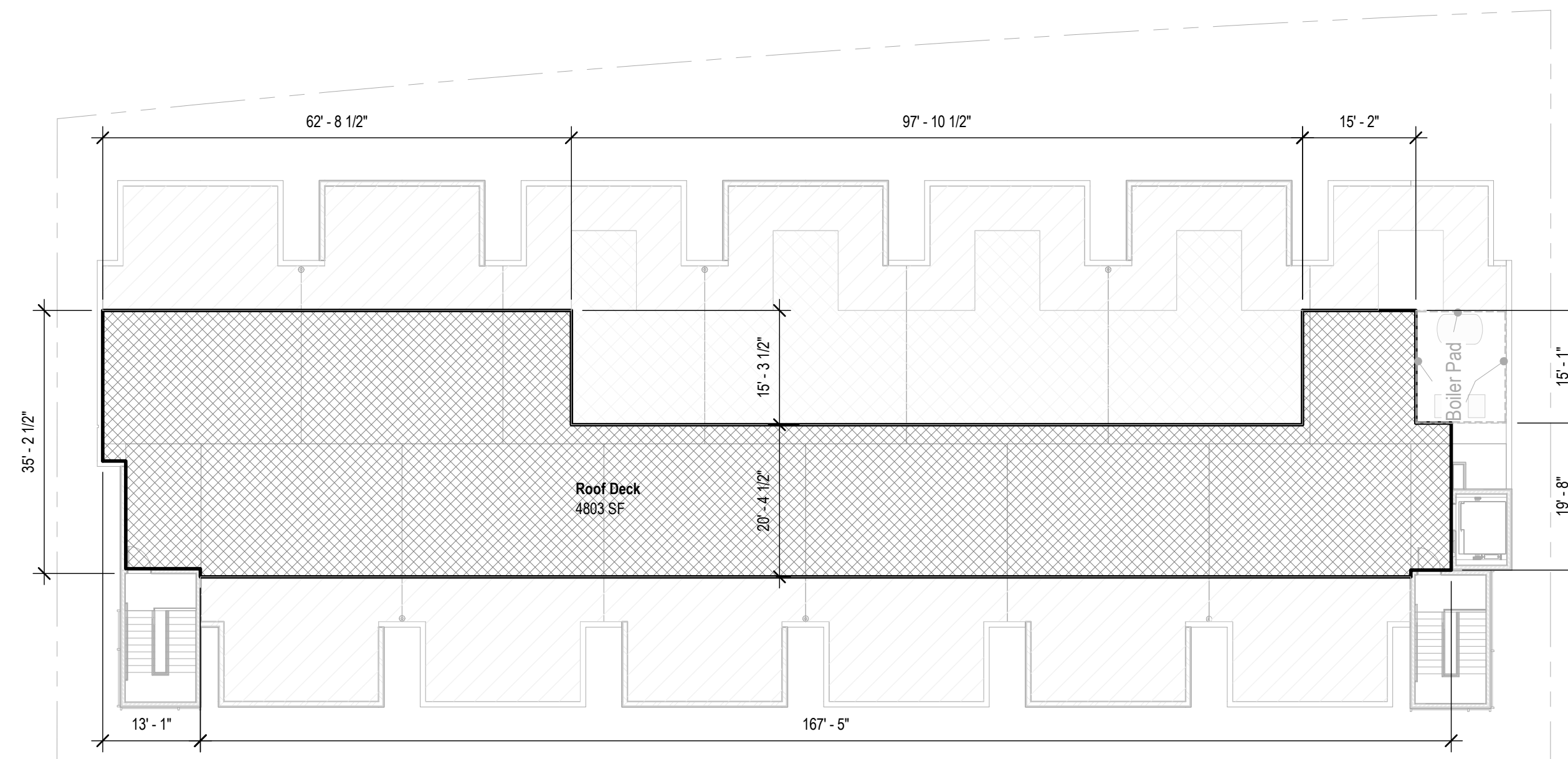


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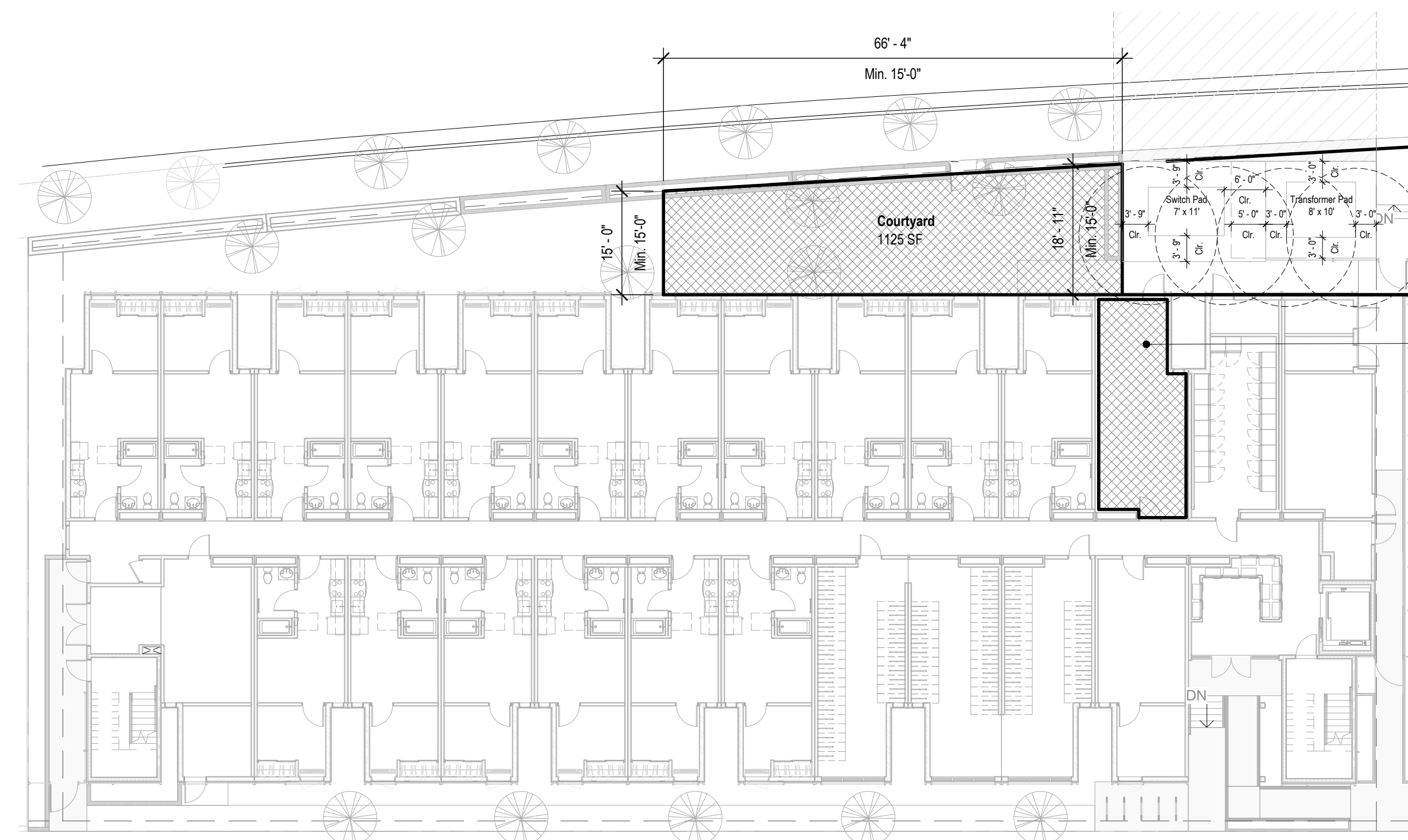
| Area Plans - Open Space | |
|--|-----------|
| Area | Type |
| L01 Common Open Space 1125 SF 1125 SF | Courtyard |
| Roof Common Open Space 4803 SF 4803 SF 5928 SF | Roof Deck |

| Open Space Required / Provided | Required | Provided |
|--|----------|----------|
| Allowable Open Space w/20% decreased in Open Space per AB 2345 Incentive | 9,680SF | 5,928 SF |
| Minimum Common Open Space w/AB 2345 Incentive | 4,840 SF | 5,928 SF |
| Required Landscaping | 2,420 SF | 2,420 SF |
| Required Trees | 31 | 31 |

- A 100% Affordable AB 2345 Project with requests for Off-Menu Incentives and Waivers:**
- Reduction of Side Set Back to 5 ft from 8 ft (LAMC)
 - 38.8% Reduction of Open Space Requirement (LAMC)
 - 19% Reduction of CPIO Glazing Requirement (LAMC)
 - Waiver of One (1) Parking Space for every 20 Dwelling Units or Guest Rooms.
 - Waiver of the CPIO Ground - Floor Commercial Requirement for 75% of the Primary Frontage and Limitation of Dwelling Units on the Ground Level.

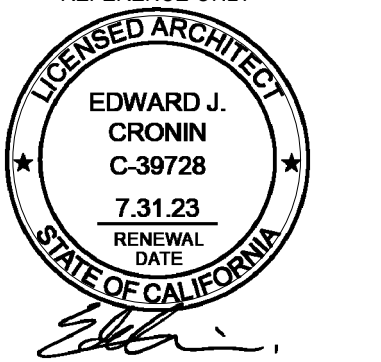


2 1/16" = 1'-0" Roof Level Open Space



1 1/16" = 1'-0" L01 Open Space

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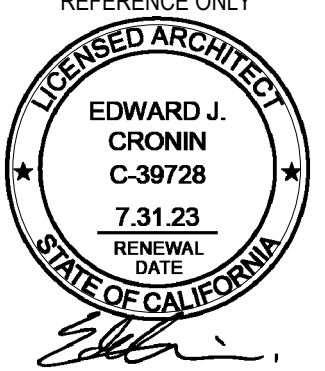


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SHEET NO:

G0.23

General Notes

CPIO Requirements.

Building Design. In addition to any regulations set forth by the underlying zone and the LAMC, Projects with new construction or additions shall comply with the following building design regulations:

- Per Table II - Ground Floor Commercial Use Limitation:**
 - Provide Ground Floor Commercial uses along a Primary Frontage (San Fernando Road), at a min. Depth of 25 FT or the entire depth of the building, for a min. of 75% of the length of the Primary Frontage, excluding any area used for pedestrian and vehicular circulation.
 - Units are limited to upper floors above non-residential uses, or behind non-residential uses that are at least 25 FT in depth.

- Articulation.** All exterior building walls shall provide a break in the plane, or a change in material, at least every 25 FT horizontal of building facedefacing a street, a building shall incorporate at least one item from three of the four following categories:
 - Category 1: Columns, Pilaster, posts, or trellises
 - Category 2: Wall recessed, projections, or offset
 - Category 3: Arcades, awnings, or canopies
 - Category 4: Windows or Storefront Bay

- Glazing:** The Primary Frontage of any building that has non-residential uses on the ground floor shall consist of at least 50% transparent doors and windows. (Project requested for a waiver for the ground floor transparent doors and windows reduction)

- Building Elevations & Facade:** Building entrance and/or Windows shall includes at least one item from three of the four following categories:
 - Category 1: Projections or recessed entrances and windows with a minimum four inches recessed
 - Category 2: Decorative pedestrian lighting
 - Category 3: Courtyards, entry ways, or landing porches
 - Category 4: Planter Boxes, window sills, shutters, canopies, or awnings

- Decorative screen wall, a trellis with climbing vines or plant materials, a landscaped planting bed, or other continuous architectural element shall be installed on all blank walls facing a street or parking lot**

- Entrances & Pedestrian Circulation:**
 - A Prominent ground or first floor entry shall be created such as a lobby or atrium, along the primary frontage
 - Pedestrian pathways leading directly from the public sidewalk to the primary building entrances, pedestrian amenity spaces, and parking areas shall be provided. A change in grade, materials, textures, colors, or landscaping to improve pedestrian visibility and safety shall be used.
 - Ancillary lighting shall be provided along pedestrian and vehicular access ways. All outdoor lighting and direct lighting shall be shielded onto the pathway.

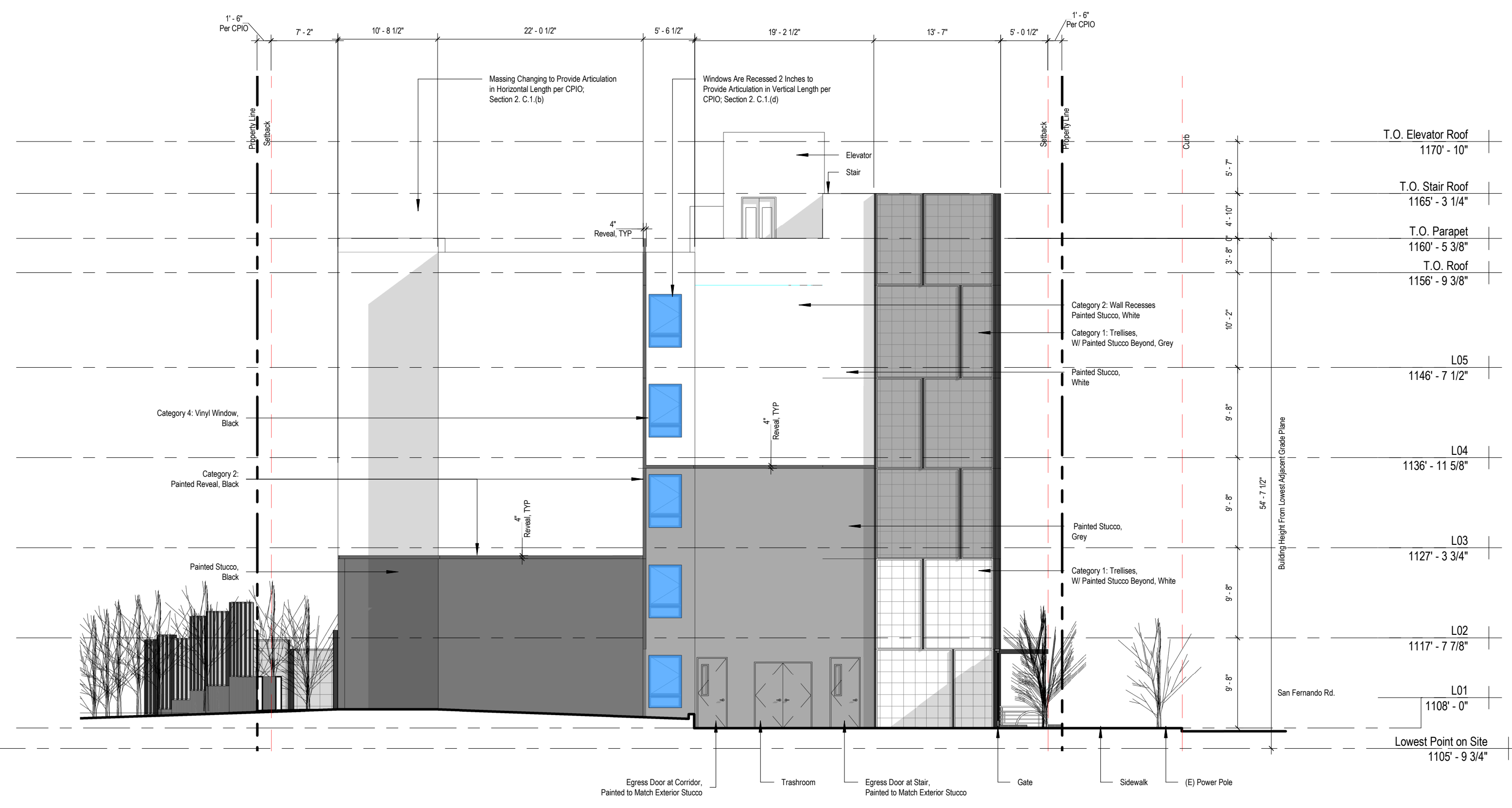
- Parking and Vehiculat Circulation (Design):**
 - New surface parking shall be located at the rear or side of buildings and/ or provide a semi-subterranean or subterranean grade.
 - Side streets or alleys are the primary point of vehicular access to off-street parking, loading areas, and trash enclosures, unless determined infeasible by the department of transportation
 - Architectural openings, and use varied building materials, decorative screening, climbing vines, or green walls.
 - On site surface parking which abuts a sidewalk and/ or street, a max. 42 inches in height hedge or landscaped wall or fence shall be installed within five feet of the entire length of the street

- Open Space:**
 - For every 100 SF of non-residential floor area, one sq. ft. of open space shall be provided. The min. Open Space area is 200 SF, with max. of 5,000 sf of open space required for the project site.
 - Open Space shall be visible and accessible from the Primary Frontage side walk and include pedestrian amenities, such as benches, landscaping, water features, and tables.

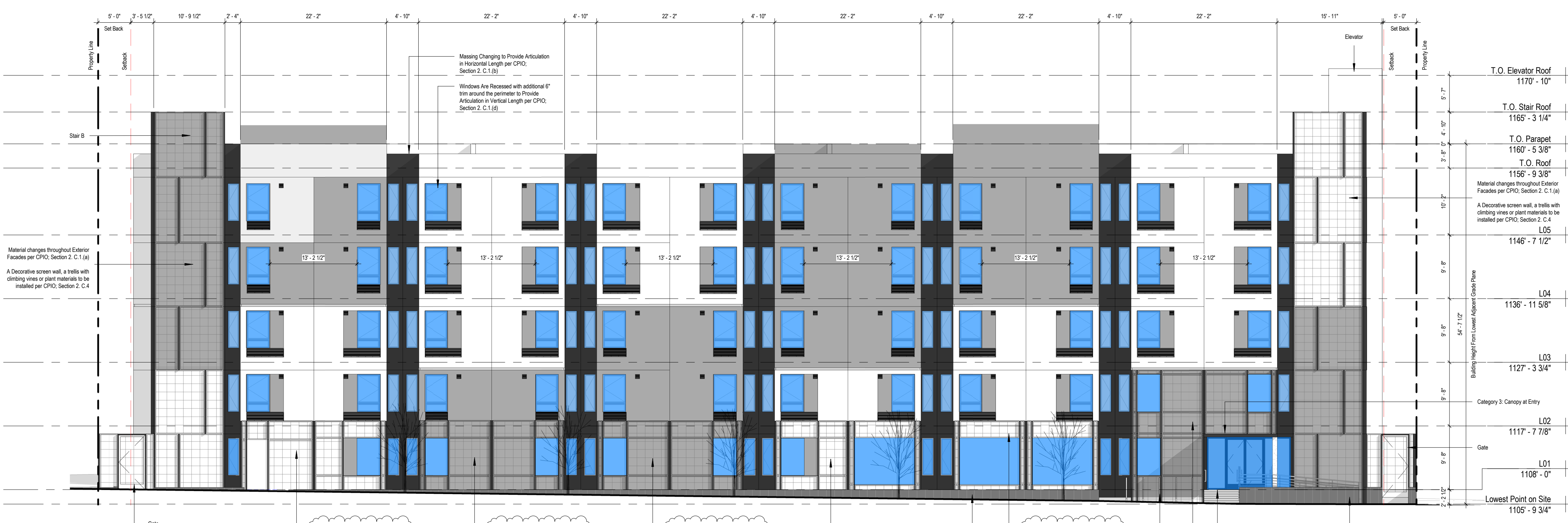
- Yard, Parkways:**
 - Improved with landscaping that separates the curb from the sidewalk with native and / or drought tolerant species, low-growing vegetation, or permeable materials, and shade street trees. Trees shall be planted along parkways to the satisfaction of the Urban Forestry Division Bureau of Street Service.
 - Native and /or drought tolerant plant species shall be used and installed with an automatic irrigation system or comparable watering system on all landscape areas.

- Equipment & Utilities:**
 - Air conditioning units, antennas, communication equipemnt, mechanical and vents shall be screened from street view. Equipment located min. 5FT from a roof edge.
 - All exterior mechanical equipment, utilities, storage and trash bins shall be enclosed or screened with materials that are similar to those used in the primary structure.
 - Utilities, gas, electrical and water meter to place in side yard, set backs or in landscaped areas that are out of the line-of-sight from crosswalks or sidewalk
 - Utilities on roof top shall be concealed by a parapet.

EXHIBIT "A"
Page No. 12 of 29
Case No. ADM-2023-965-DB-HCA-ED1

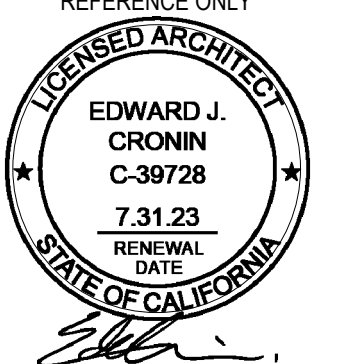


2 1" = 10'-0" West Elevation - CPIO Articulation



1 1" = 10'-0" South Elevation - CPIO Articulation

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| DATE: | ISSUE: |
|------------|--------------------------|
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| 01.10.2023 | PZA Re-submittal |
| 03.16.2023 | PZA Re-submittal 1 |

PROJECT NO: 202203
DRAWN BY: Author
CHECKED BY: Checker
SCALE: As indicated

SHEET NO:

G0.24

General Notes

CPIO Requirements.

Building Design. In addition to any regulations set forth by the underlying zone and the LAMC, Projects with new construction or additions shall comply with the following building design regulations:

- Per Table II - Ground Floor Commercial Use Limitation:**
 - Provide Ground Floor Commercial uses along a Primary Frontage (San Fernando Road), at a min. Depth of 25 FT or the entire depth of the building, for a min. of 75% of the length of the Primary Frontage, excluding any area used for pedestrian and vehicular circulation.
 - Units are limited to upper floors above non-residential uses, or behind non-residential uses that are at least 25 FT in depth.
- Articulation.** All exterior building walls shall provide a break in the plane, or a change in material, at least every 25 FT horizontal of building facade facing a street, a building shall incorporate at least one item from three of the four following categories:

- Category 1: Columns, Pilaster, posts, or trellises
- Category 2: Wall recessed, projections, or offset
- Category 3: Arcades, awnings, or canopies
- Category 4: Windows or Storefront Bay

- Glazing:** The Primary Frontage of any building that has non-residential uses on the ground floor shall consist of at least 50% transparent doors and windows. (Project requested for a waiver for the ground floor transparent doors and windows reduction)

- Building Elevations & Facade:** Building entrance and/or Windows shall include at least one item from three of the four following categories:

- Category 1: Projections or recessed entrances and windows with a minimum four inches recessed
- Category 2: Decorative pedestrian lighting
- Category 3: Courtyards, entry ways, or landing porches
- Category 4: Planter Boxes, window sills, shutters, canopies, or awnings

Decorative screen wall, a trellis with climbing vines or plant materials, a landscaped planting bed, or other continuous architectural element shall be installed on all blank walls facing a street or parking lot

5. Entrances & Pedestrian Circulation:

- A Prominent ground or first floor entry shall be created such as a lobby or atrium, along the primary frontage
- Pedestrian pathways leading directly from the public sidewalk to the primary building entrances, pedestrian amenity spaces, and parking areas shall be provided. A change in grade, materials, textures, colors, or landscaping to improve pedestrian visibility and safety shall be used.
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- New surface parking shall be located at the rear or side of buildings and/or provide a semi-subterranean or subterranean grade.
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- Architectural openings, and use varied building materials, decorative screening, climbing vines, or green walls.
- On site surface parking which abuts a sidewalk and/or street, a max. 42 inches in height hedge or landscaped wall or fence shall be installed within five feet of the entire length of the street

7. Open Space:

- For every 100 SF of non-residential floor area, one sq. ft. of open space shall be provided. The min. Open Space area is 200 SF, with max. of 5,000 sf of open space required for the project site.
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8. Yard, Parkways:

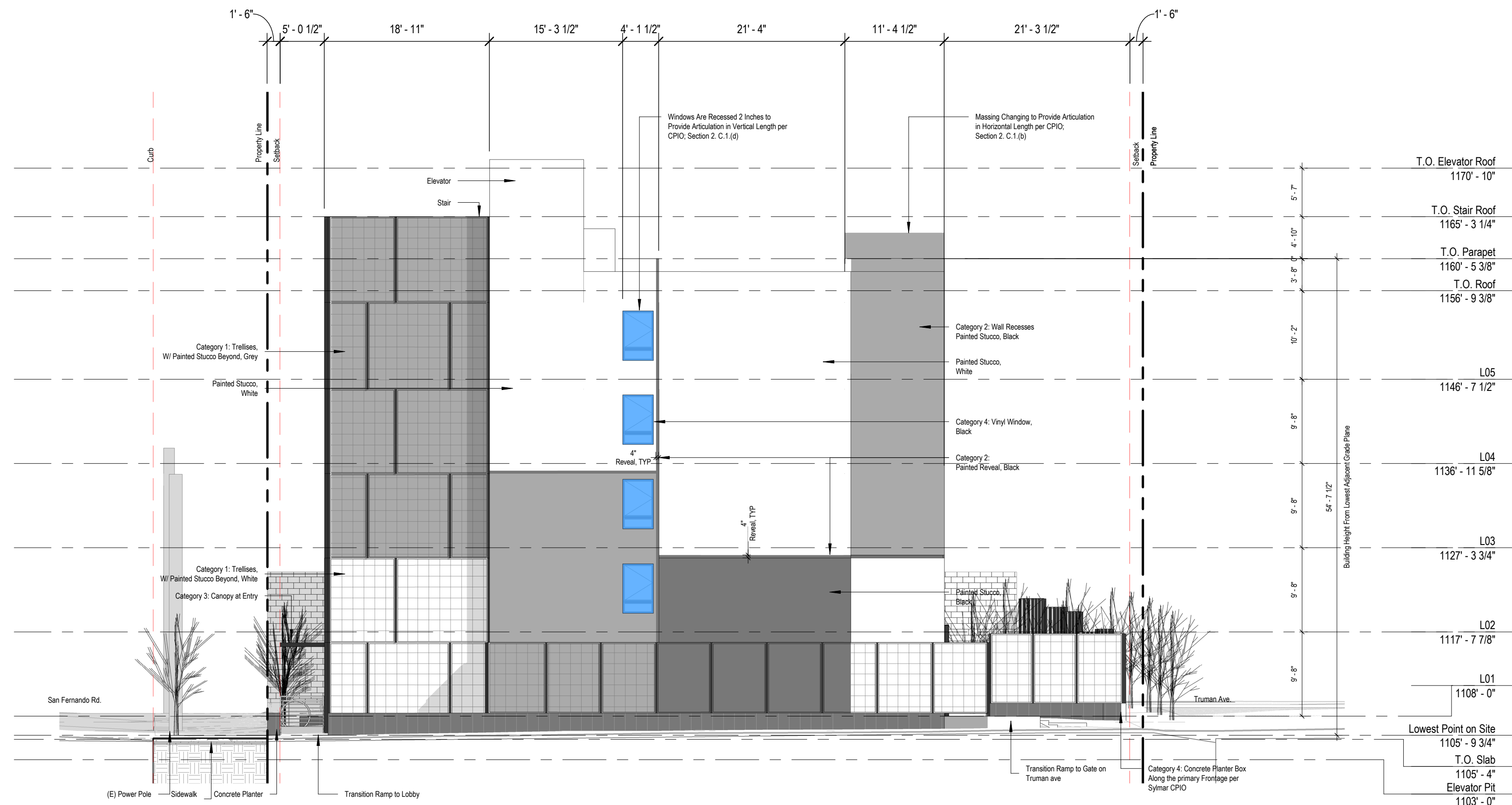
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Page No. 13 of 29
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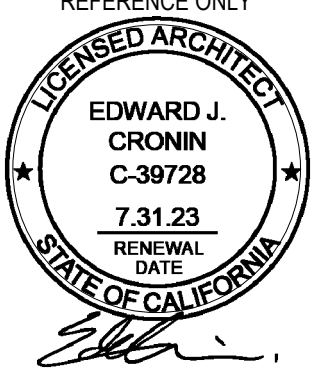


2 1" = 10'-0" East Elevation - CPIO Articulation



1 1" = 10'-0" North Elevation - Exterior Elevation

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| 03.16.2023 | PZA Re-submittal 1 |

PROJECT NO: 202203

DRAWN BY: Author

CHECKED BY: Checker

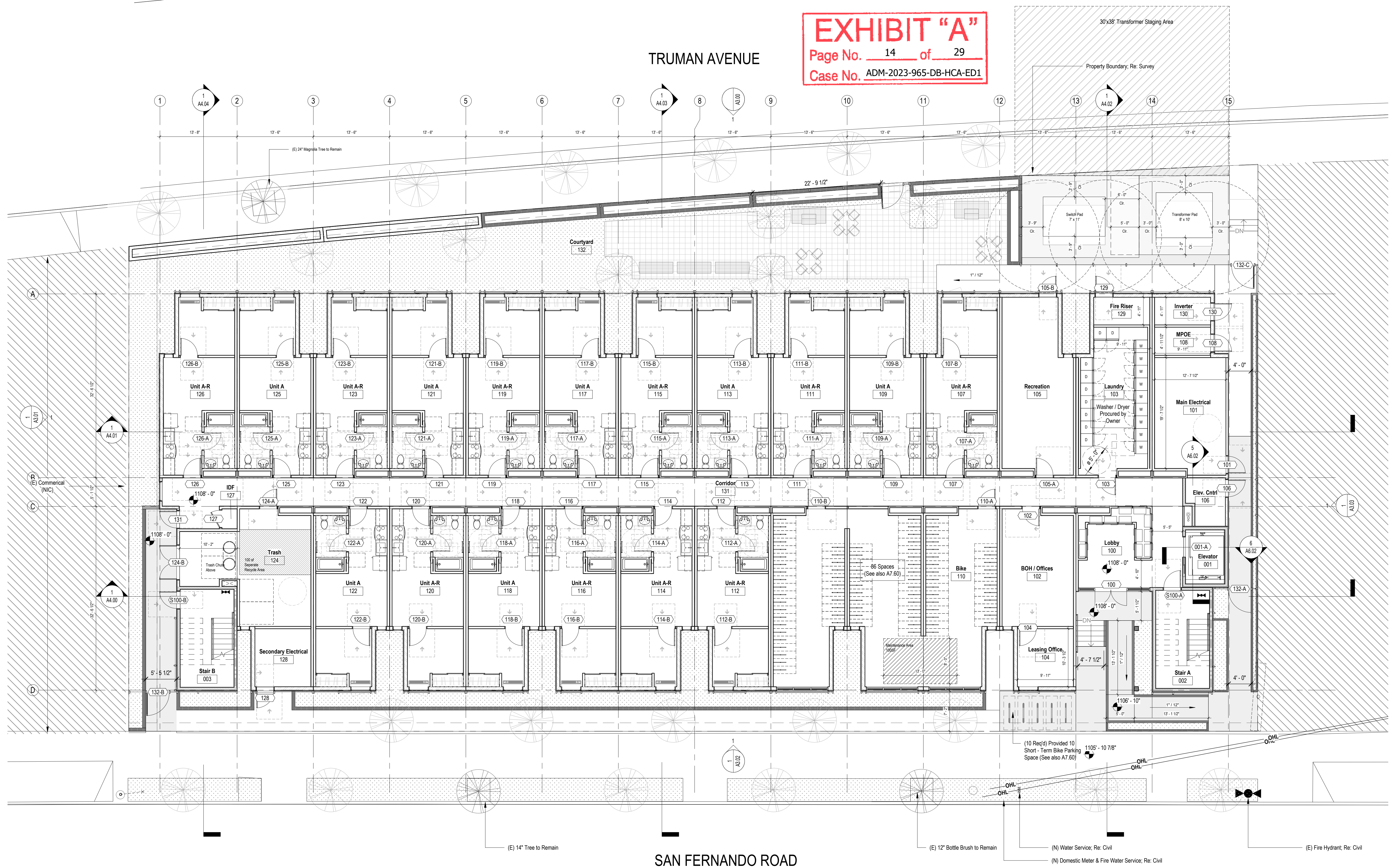
SCALE: As indicated

SHEET NO:

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 Page No. 14 of 29
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TRUMAN AVENUE

SAN FERNANDO ROAD



Sheet Keynotes - Level 01

- | | | |
|--|---|---|
| 1 Mailbox, Typ., Re: Specifications | 10 Biofiltration Planter Box, Re: Civil | 19 90 Degree Turn, LADBS - Case I (For Illustration Only) |
| 2 Luxor 15-Door Main Parcel Locker, Re: Specifications | 11 Knee Wall At The Height of Biofiltration Planter | 20 Electric Vehicle Charger |
| 3 Autodialer Entry System | 12 Trench Drain | 21 EV Raceway Termination Location |
| 4 Smoke Curtain Above, Typ. | 13 Area Drain | 22 FDC Below Window |
| 5 Trash Chute Above | 14 Downspout From Above | 23 Proposed (N) Gas Meter Location |
| 6 Recycling Chute Above | 15 Wall-Mounted Long-Term Bike Parking, Re: A7.60 | 24 Standpipe |
| 7 Egress Door | 16 Floor-Mounted Short-Term Bike Parking, (6) Spaces, Re: A7.60 | 25 (E) Power Pole |
| 8 Automated Side-Rolling Garage Door | 17 Car Stop, Typ. | 26 "Placeholder" |
| 9 Landscape Planting, Re: Landscape | 18 Parallel Parking Stall | 27 "Placeholder" |

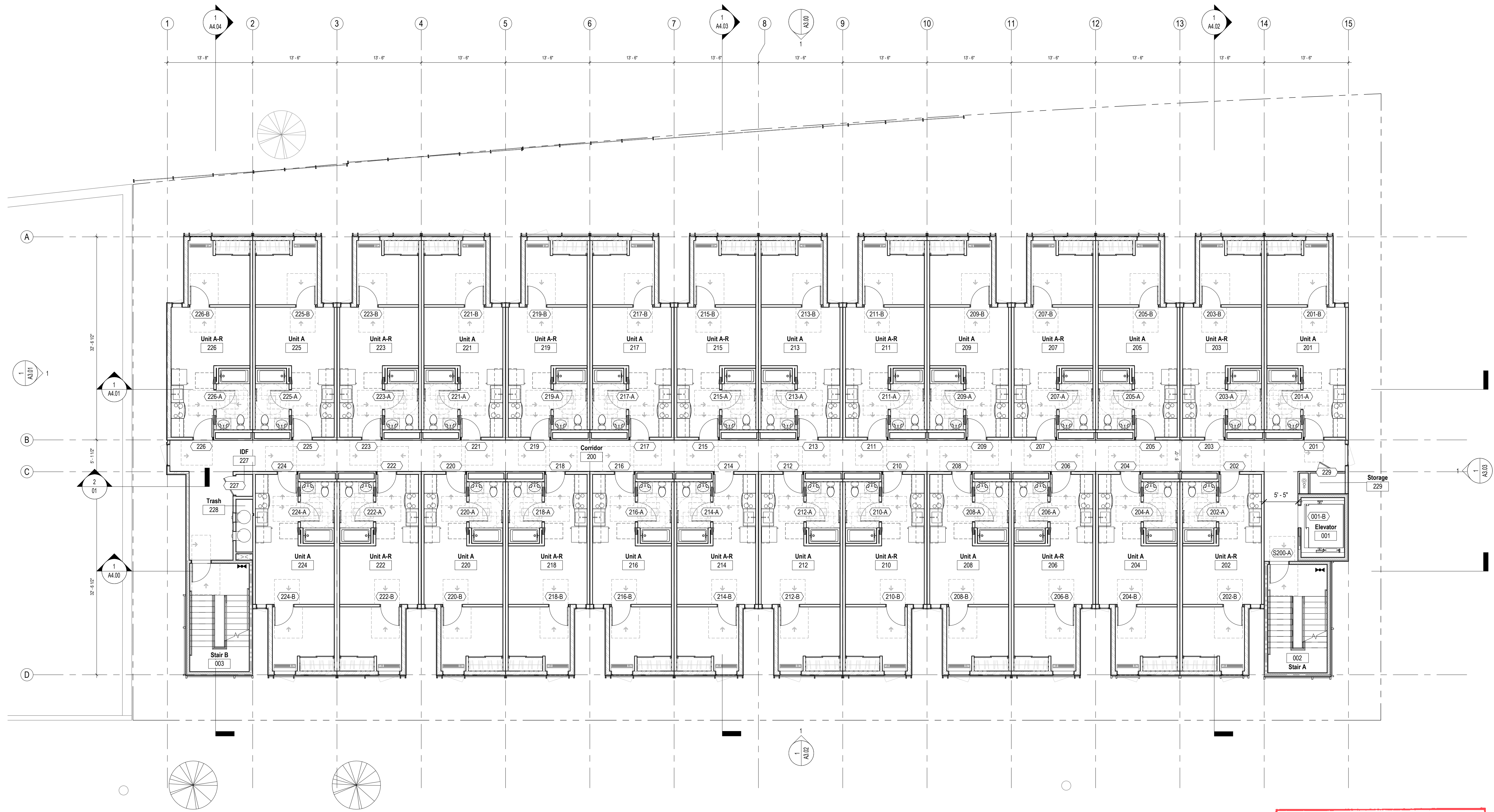
Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

- 0 Hour Wall
- 1 Hour Fire Barrier
- 3 Hour Fire Barrier
- 1 Hour Fire Partition
- 1 Hour Fire Partition
- 2 Hour Fire Barrier
- 2 Hour Fire Barrier (Horizontal Exit, Demising Wall)
- 1 Hour Exterior Wall

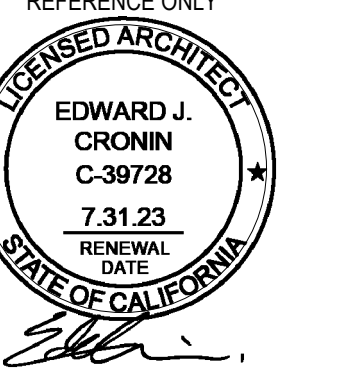
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- Covered Dwelling Units in Compliance with 1102A.2
- Elevator Building Requires All Units, Including Ground-Floor Units, to be Accessible, Adaptable, and on an Accessible Route Complying with CBC 1104A and 1106A.





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Sheet Keynotes - Level 01

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Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

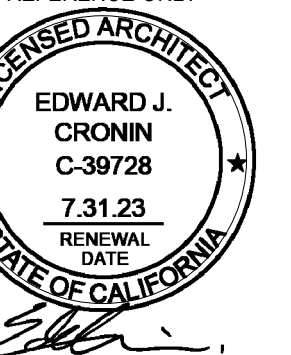
- | | |
|--|--|
| | 0 Hour Wall |
| | 1 Hour Fire Barrier |
| | 3 Hour Fire Barrier |
| | 1 Hour Fire Partition |
| | 2 Hour Fire Barrier |
| | 2 Hour Fire Barrier (Horizontal Exit, Demising Wall) |
| | 1 Hour Exterior Wall |

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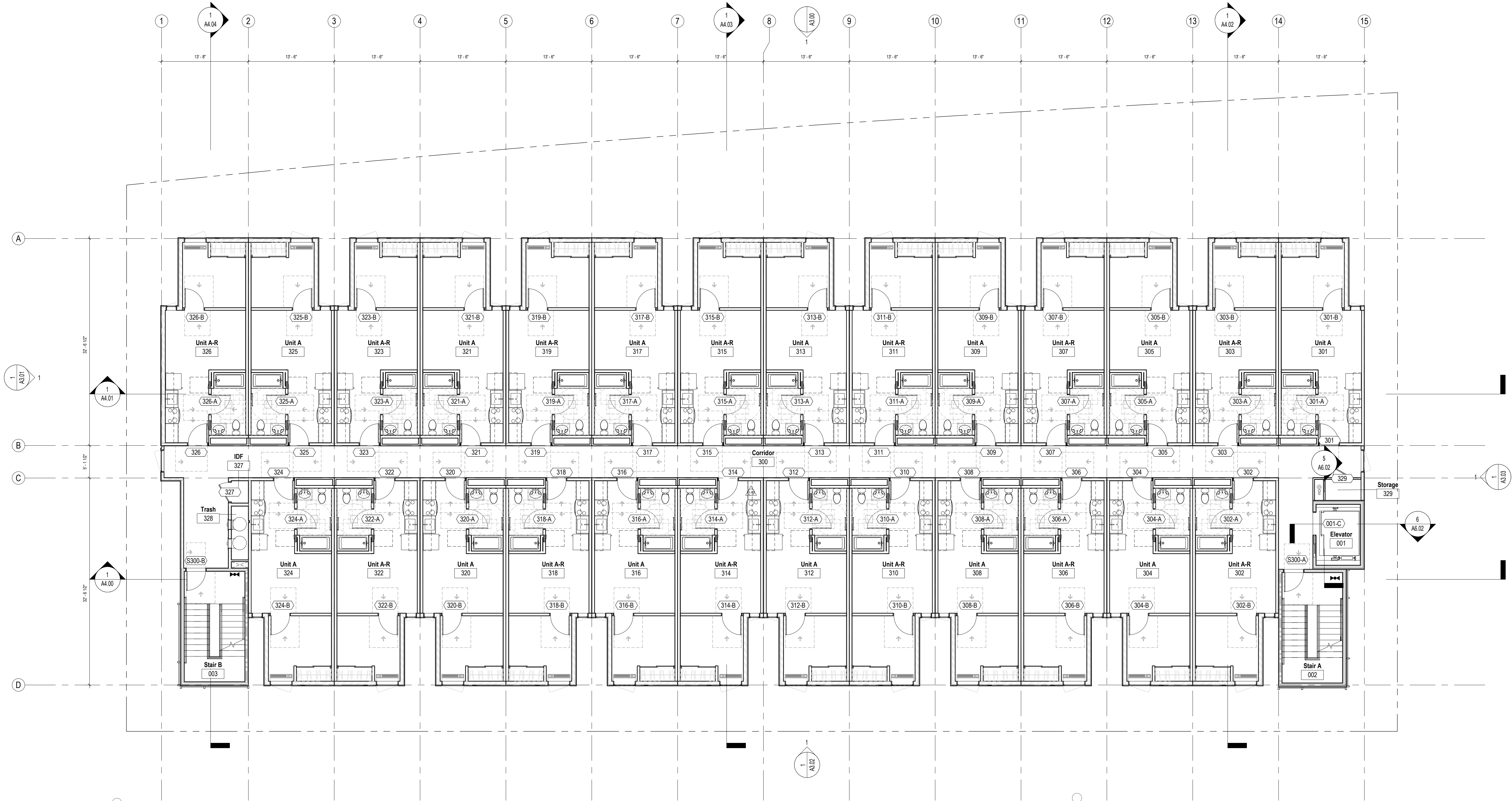
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 DATE: ISSUE:

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Sheet Keynotes - Level 01

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Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

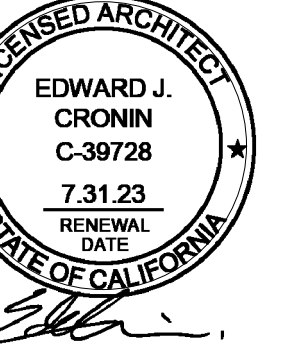
- 0 Hour Wall
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| 03.16.2023 | PZA Re-submittal 1 | |

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| PROJECT NO.: | 202203 |
| DRAWN BY: | Author |
| CHECKED BY: | Checker |
| SCALE: | As indicated |
| SHEET NO.: | |

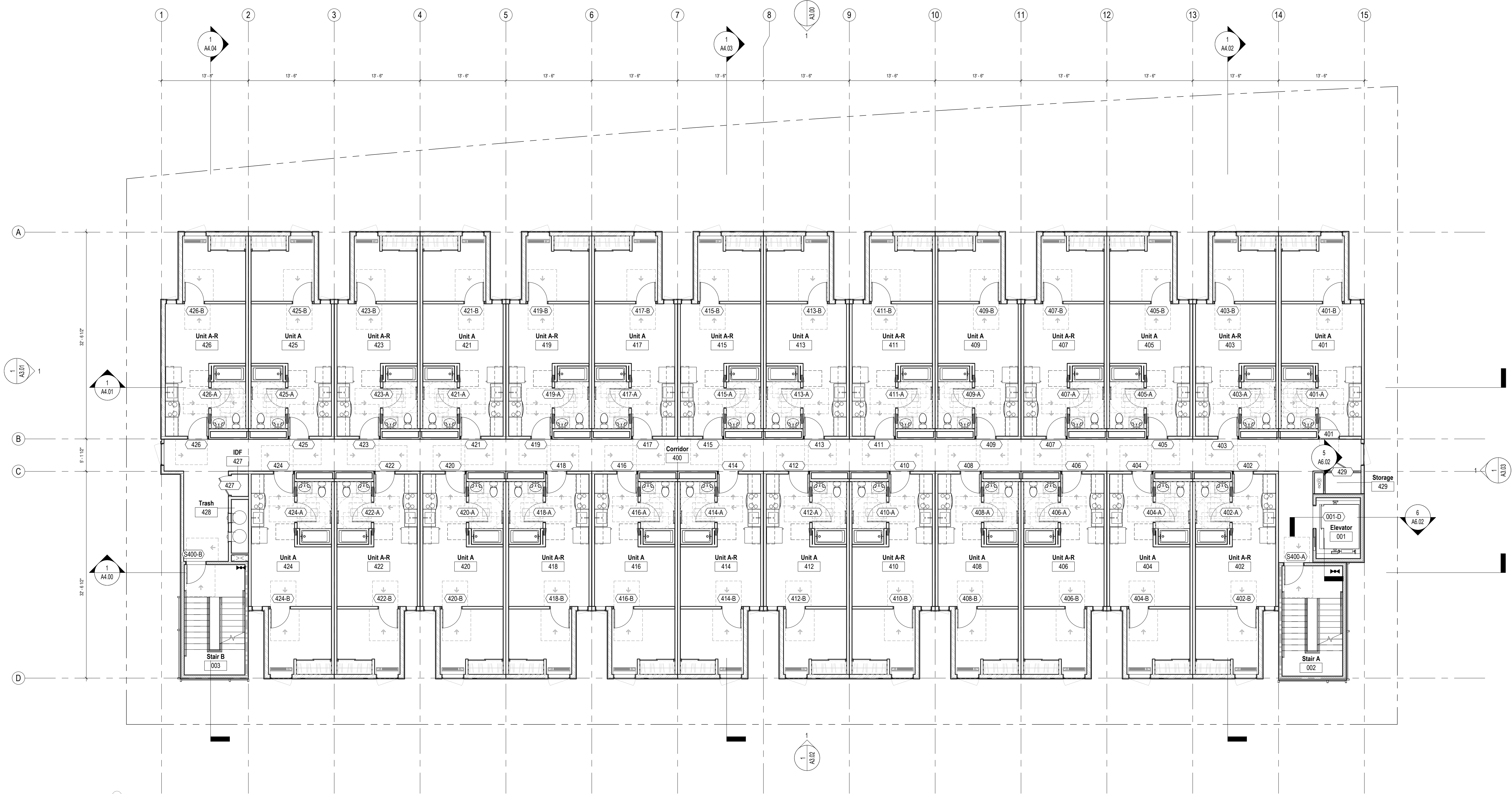


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 Case No. ADM-2023-965-DB-HCA-ED1

Sheet Keynotes - Level 01

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Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

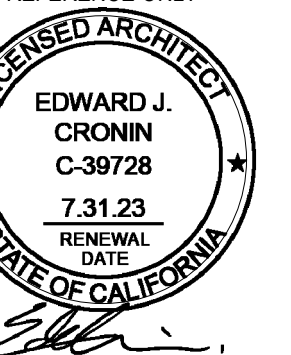
- | |
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| 0 Hour Wall |
| 1 Hour Fire Barrier |
| 3 Hour Fire Barrier |
| 1 Hour Fire Partition |
| 1 Hour Fire Partition |
| 2 Hour Fire Barrier |
| 2 Hour Fire Barrier (Horizontal Exit, Demising Wall) |
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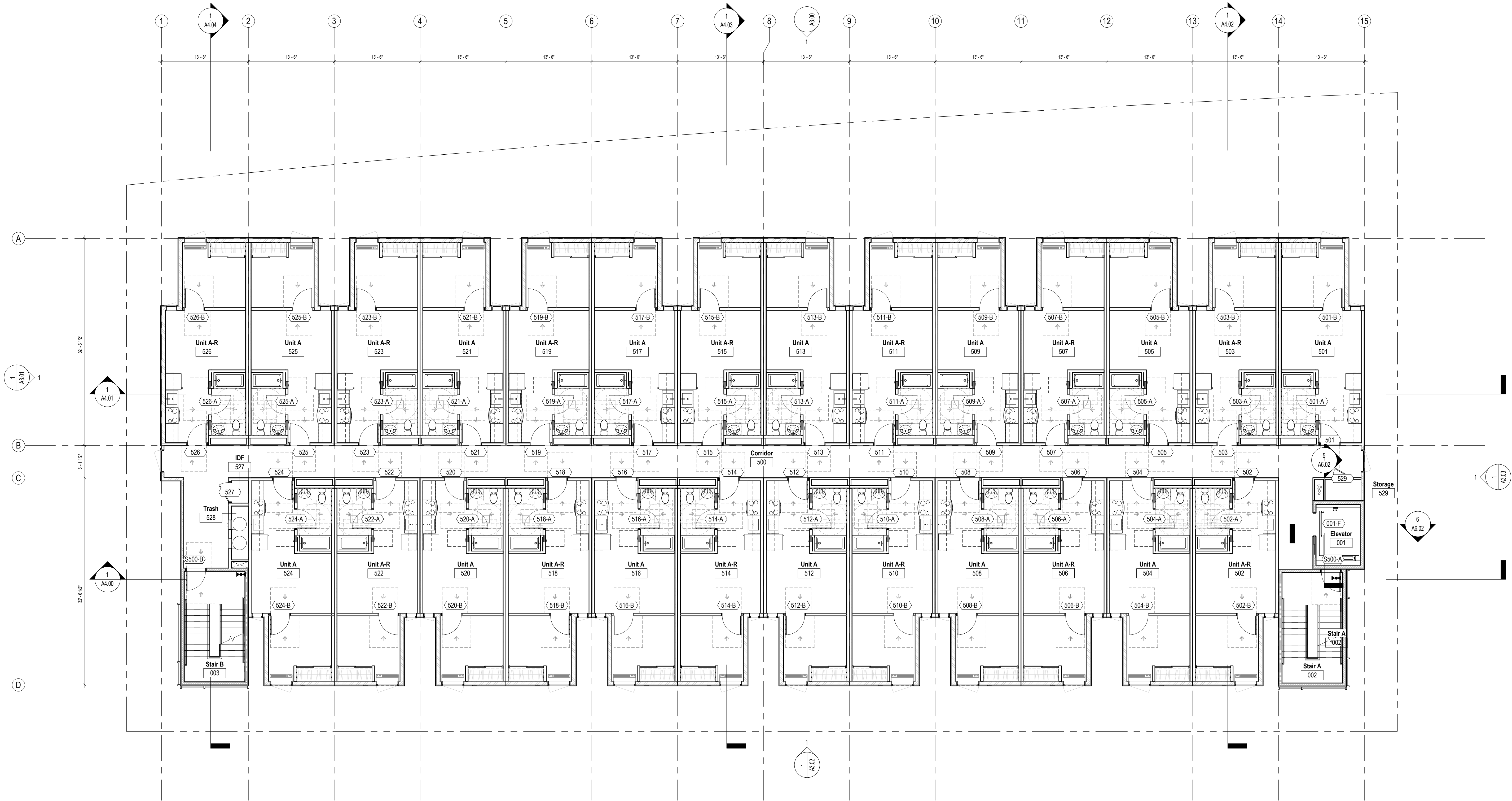


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EXHIBIT "A"
 Page No. 18 of 29
 Case No. ADM-2023-965-DB-HCA-ED1



Sheet Keynotes - Level 01

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Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

| |
|--|
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General Notes

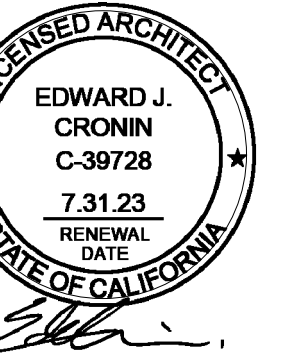
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| PROJECT NO.: | 202203 |
| DRAWN BY: | Author |
| CHECKED BY: | Checker |
| SCALE: | As indicated |

SHEET NO.:



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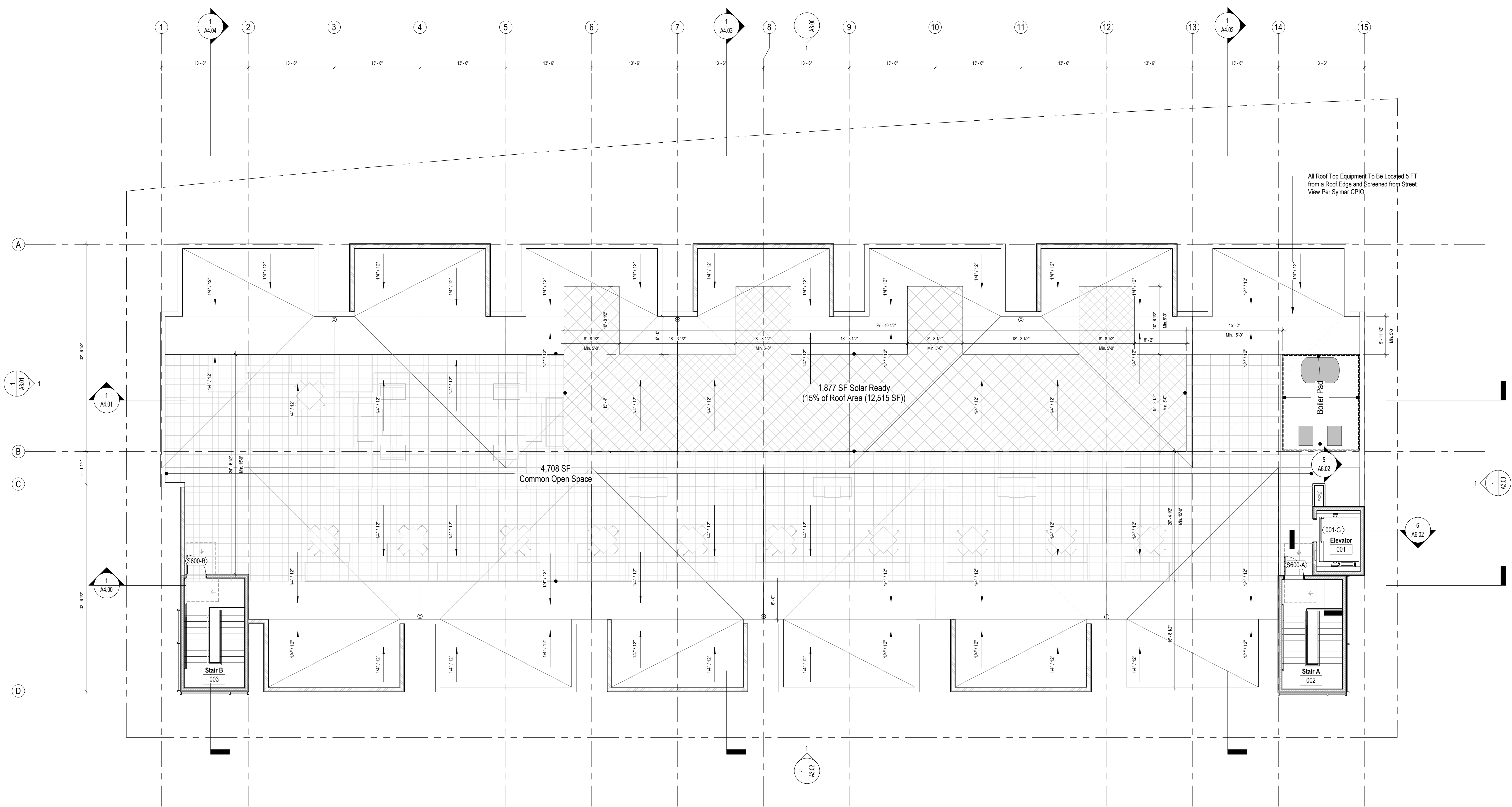


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| 03.16.2023 | PZA Re-submittal 1 |

PROJECT NO: 202203
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: As indicated

SHEET NO:



All Roof Top Equipment To Be Located 5 FT from a Roof Edge and Screened from Street View Per Sylmar CPIO

Sheet Keynotes - Roof Plan

- 1 Roof Drain and Overflow. Drainpipe In Line with Wall Below. Run to Underside of Garage Deck. Slope to Biofiltration Planter. Re: MEP & Civil
- 2 Area Drain. Drainpipe In Line with Wall Below. Run to Underside of Garage Deck. Slope to Biofiltration Planter. Re: MEP & Civil
- 3 Conductor Head and Downspout. Drain to Exterior Surface Below or Biofiltration Planter. Re: MEP & Civil
- 4 Through-Wall Overflow with Scupper. Re: MEP & Civil
- 5 Through-Wall Overflow from Occupied Roof to Unoccupied Roof. Re: MEP & Civil
- 6 Through-Wall Opening from Unoccupied Roof to Occupied Roof. Re: MEP & Civil

Wall Type - Fire Ratings Legend (See Also A0.01-A0.05)

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 Case No. ADM-2023-965-DB-HCA-ED1



EXHIBIT "A"
 Page No. 20 of 29
 Case No. ADM-2023-965-DB-HCA-ED1

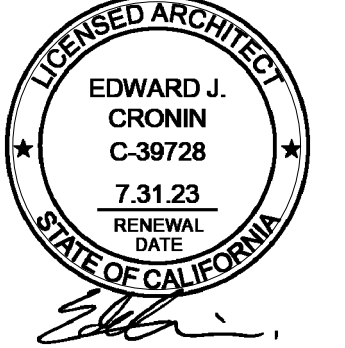
Legend

- Painted Stucco, White
- Painted Stucco, Black
- Painted Stucco, Dark Grey
- Concrete
- Wire Mesh Panel
- Metal Reveal, Black
- Concrete Planter

General Notes

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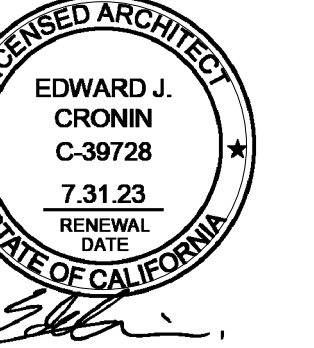
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-  Painted Stucco, Black
-  Painted Stucco, Dark Grey
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-  Wire Mesh Panel
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Legend

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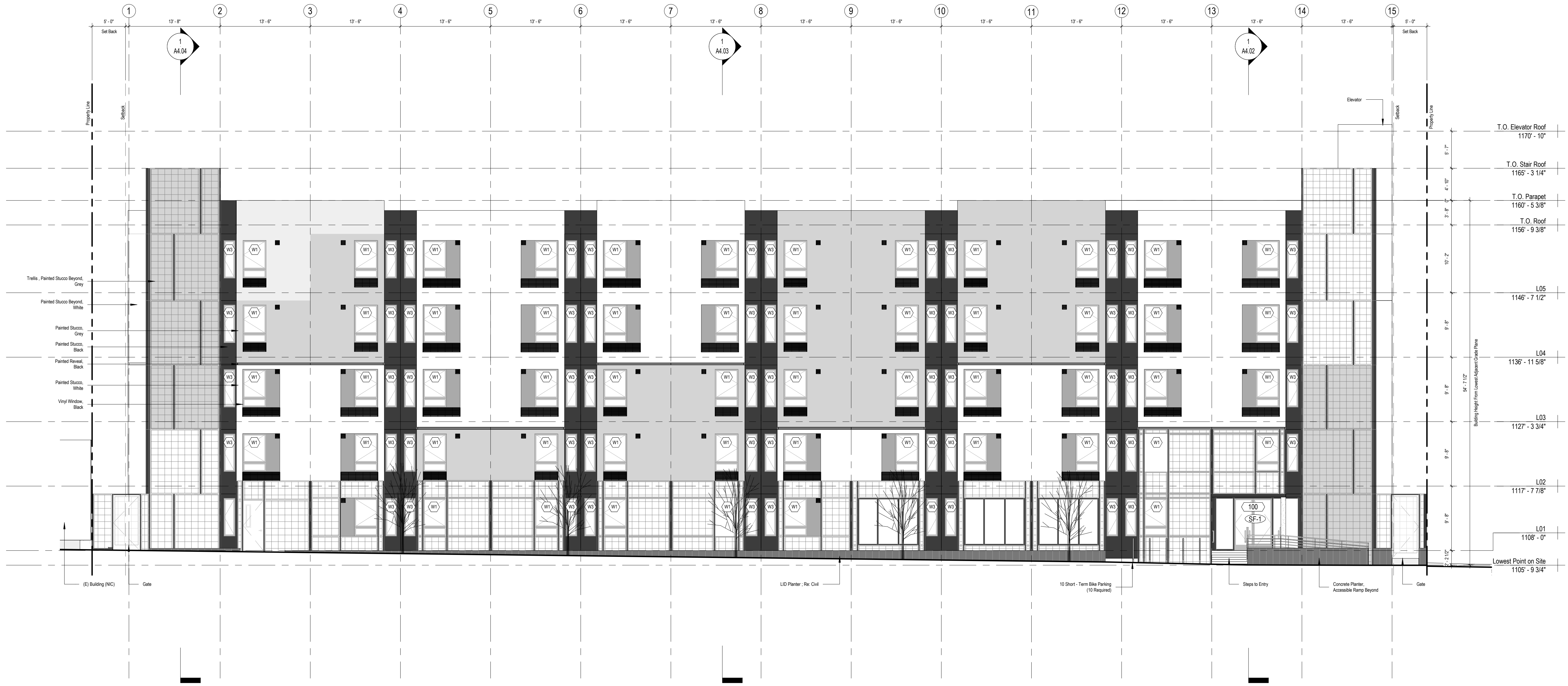


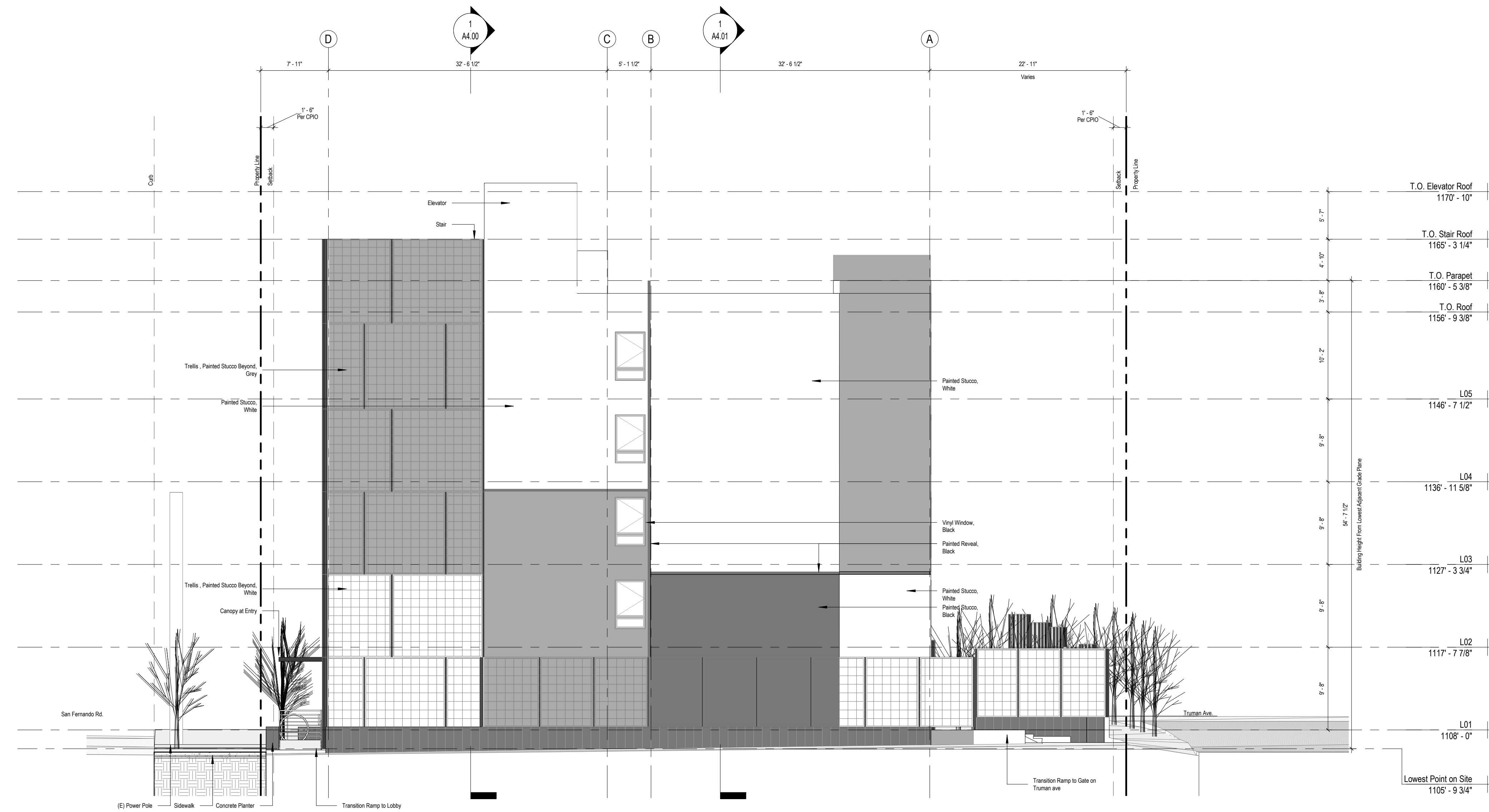
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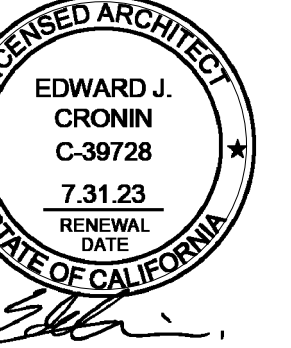
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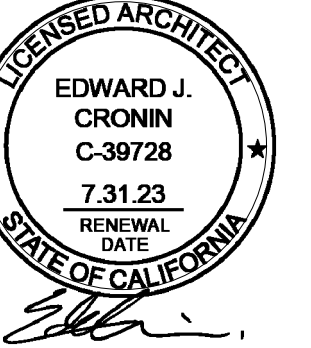
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PROJECT NO: 202203
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SHEET NO:

A4.00

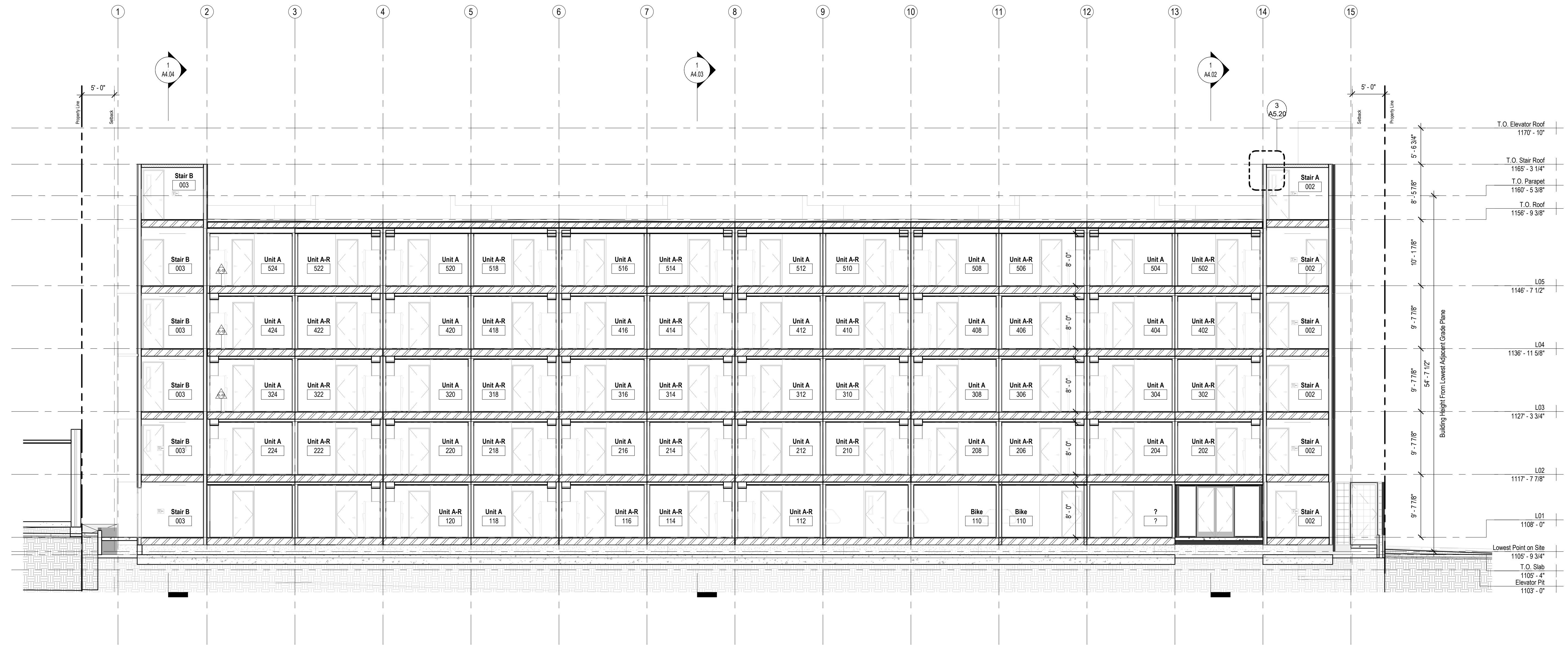


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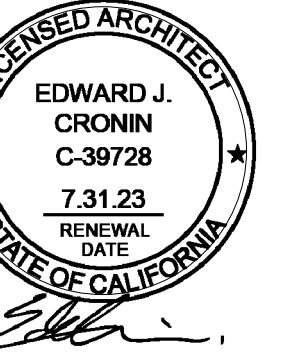
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A4.01

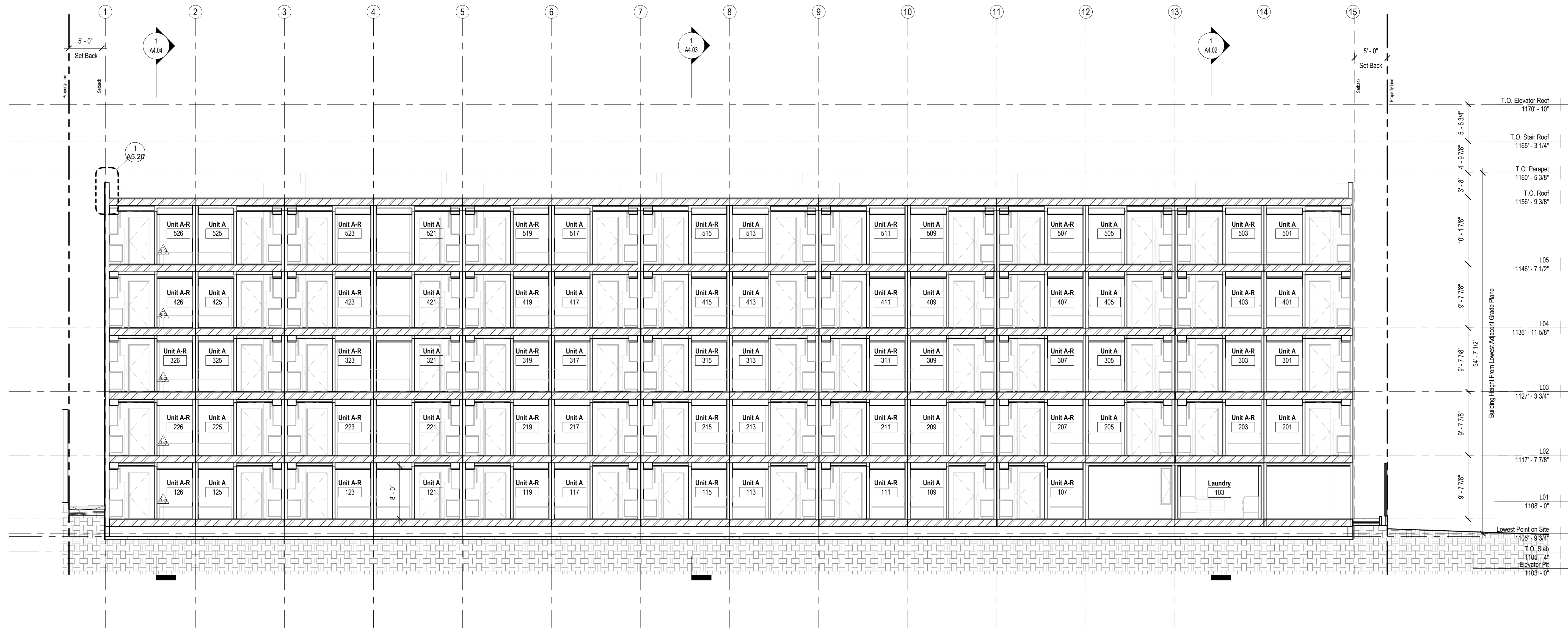


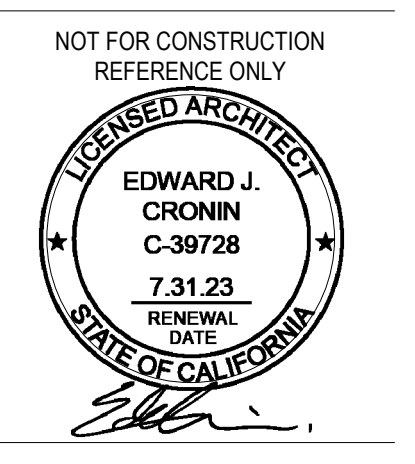
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Legend

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SHEET NO.:

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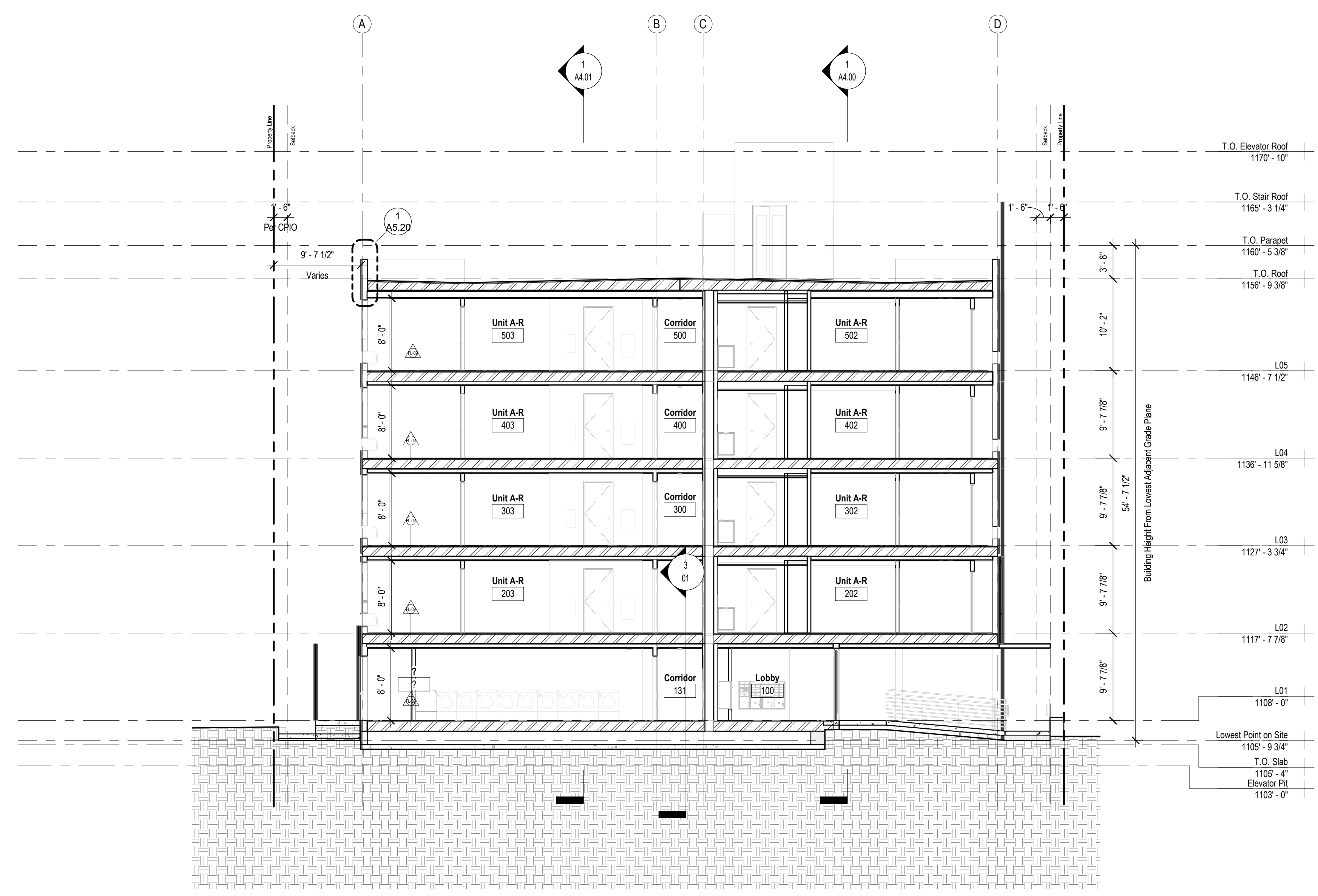


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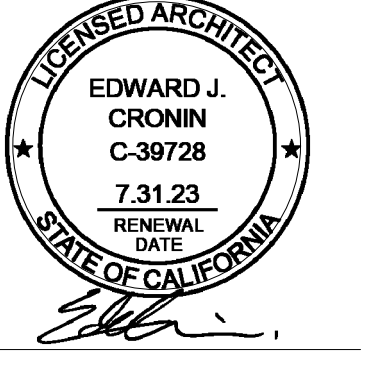
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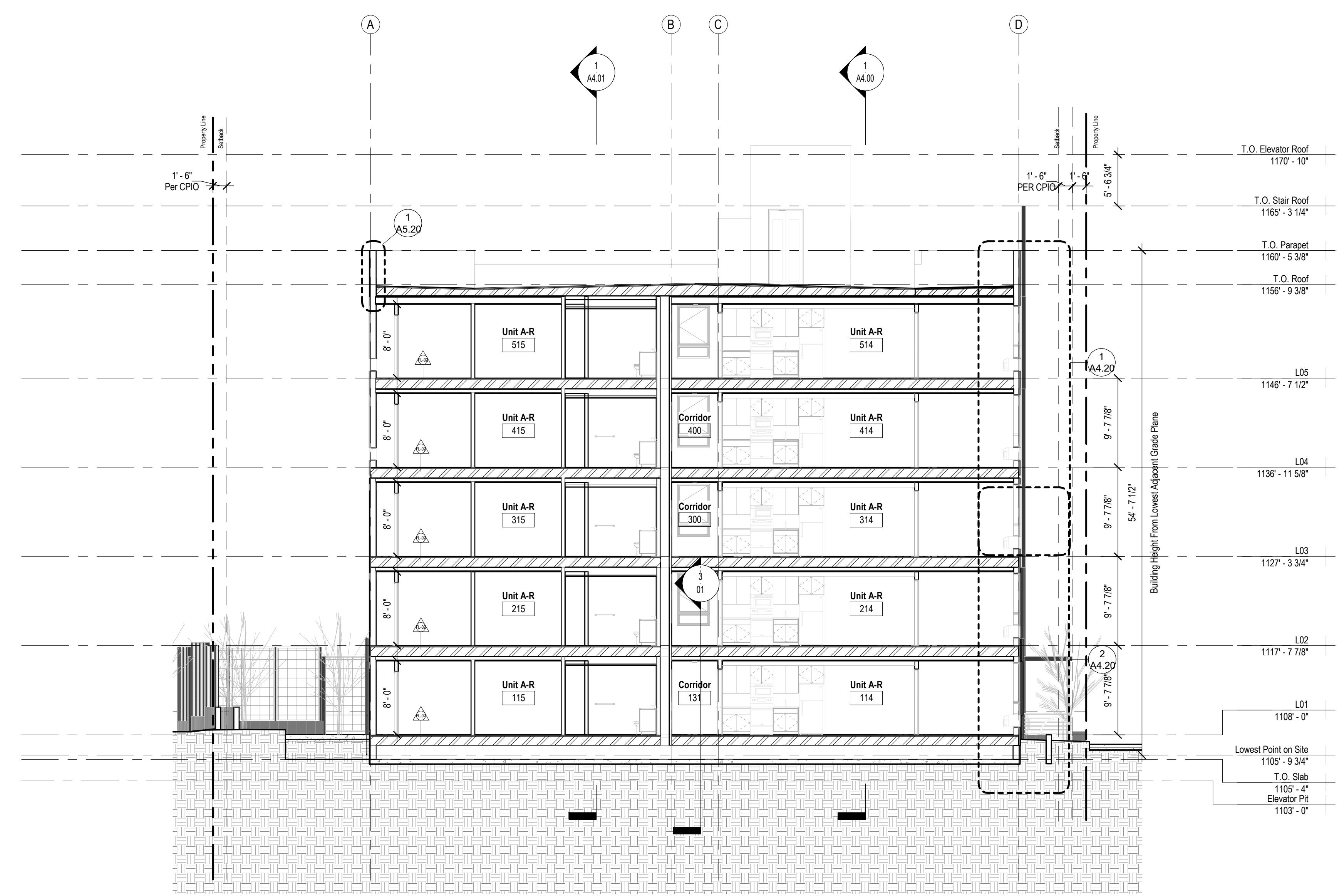


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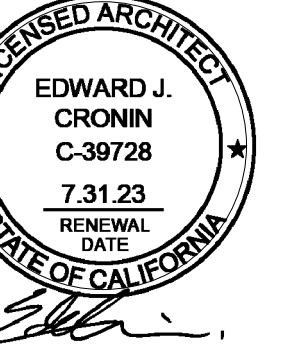
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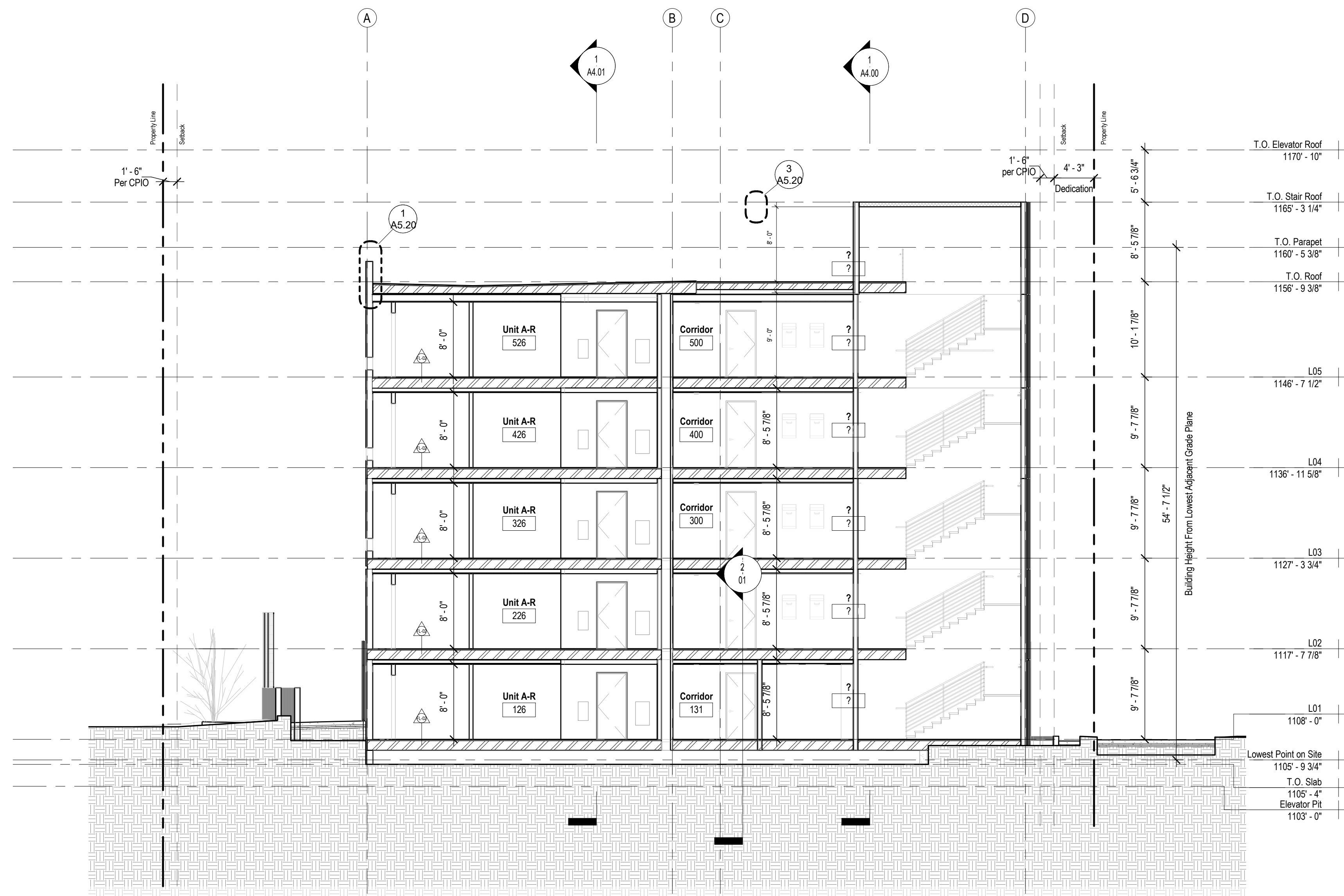
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A4.04



General Notes

LAMC SEC.12.21.GENERAL PROVISIONS. A. Use. 16. Bicycle Parking and Shower Facilities.

- Dwelling Units.** For all residential buildings other than hotels and motels containing more than three dwelling units, long- and short-term bicycle parking shall be provided according to the ratios specified for each marginal increment of dwelling units specified in Table 12.21 A.16.(a)(1)(i). A minimum of two short-term bicycle parking spaces shall be provided in all cases. (a) Land Uses. (1) Residential. (i) Dwelling Units.)

**Table 12.21 A.16.(a)(1)(i)
 Required Short-Term and Long-Term Bicycle Parking Spaces by Residential Dwelling Unit**

| Dwelling Units | Short-Term Spaces | Long-Term Spaces |
|----------------|----------------------|-----------------------|
| 1 - 25 | 1 space per 10 units | 1 space per unit |
| 26 - 100 | 1 space per 15 units | 1 space per 1.5 units |
| 101 - 200 | 1 space per 20 units | 1 space per 2 units |
| 201 + | 1 space per 40 units | 1 space per 4 units |

- Short-Term Bicycle Parking.** Short-term bicycle parking shall consist of bicycle racks that support the bicycle frame at two points. Racks that support only the wheel of the bicycle are not permissible. (i) Bicycle Parking Facility Requirements. (1) Short-Term Bicycle Parking.)

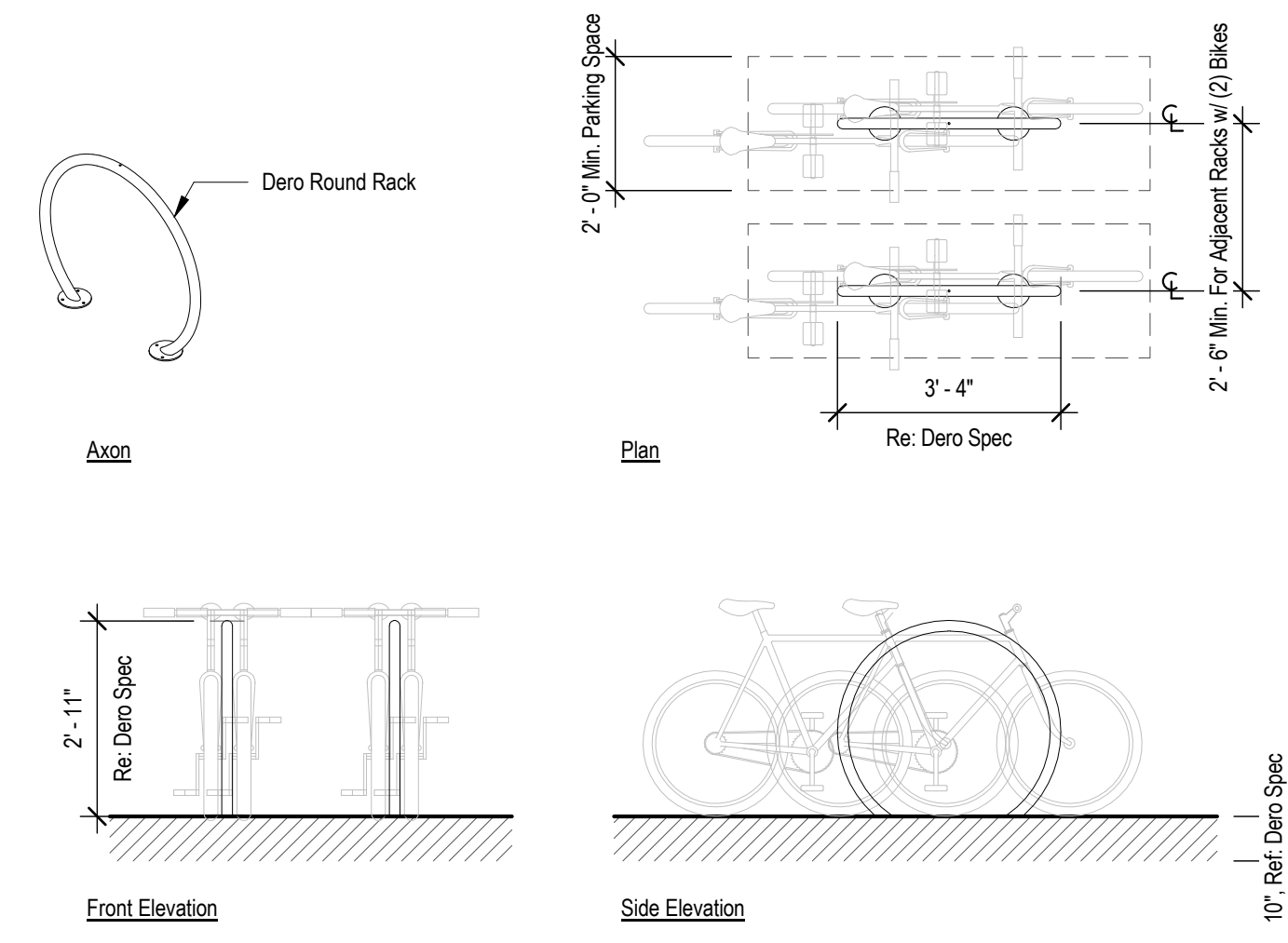
- Racks shall allow for the bicycle frame and at least one wheel to be locked to the racks.
- The bicycle rack shall allow for the use of a cable as well as a U-shaped lock.
- If bicycles can be locked to each side of the rack, each side shall be counted toward a required space.
- Racks shall be securely anchored to a permanent surface.
- If more than 20 short-term bicycle parking spaces are provided, at least 50 percent shall be covered by a roof or overhang.

- Long-Term Bicycle Parking.** Long-term bicycle parking shall be secured from the general public and enclosed on all sides and protect bicycles from inclement weather. (i) Bicycle Parking Facility Requirements. (2) Long-Term Bicycle Parking.)

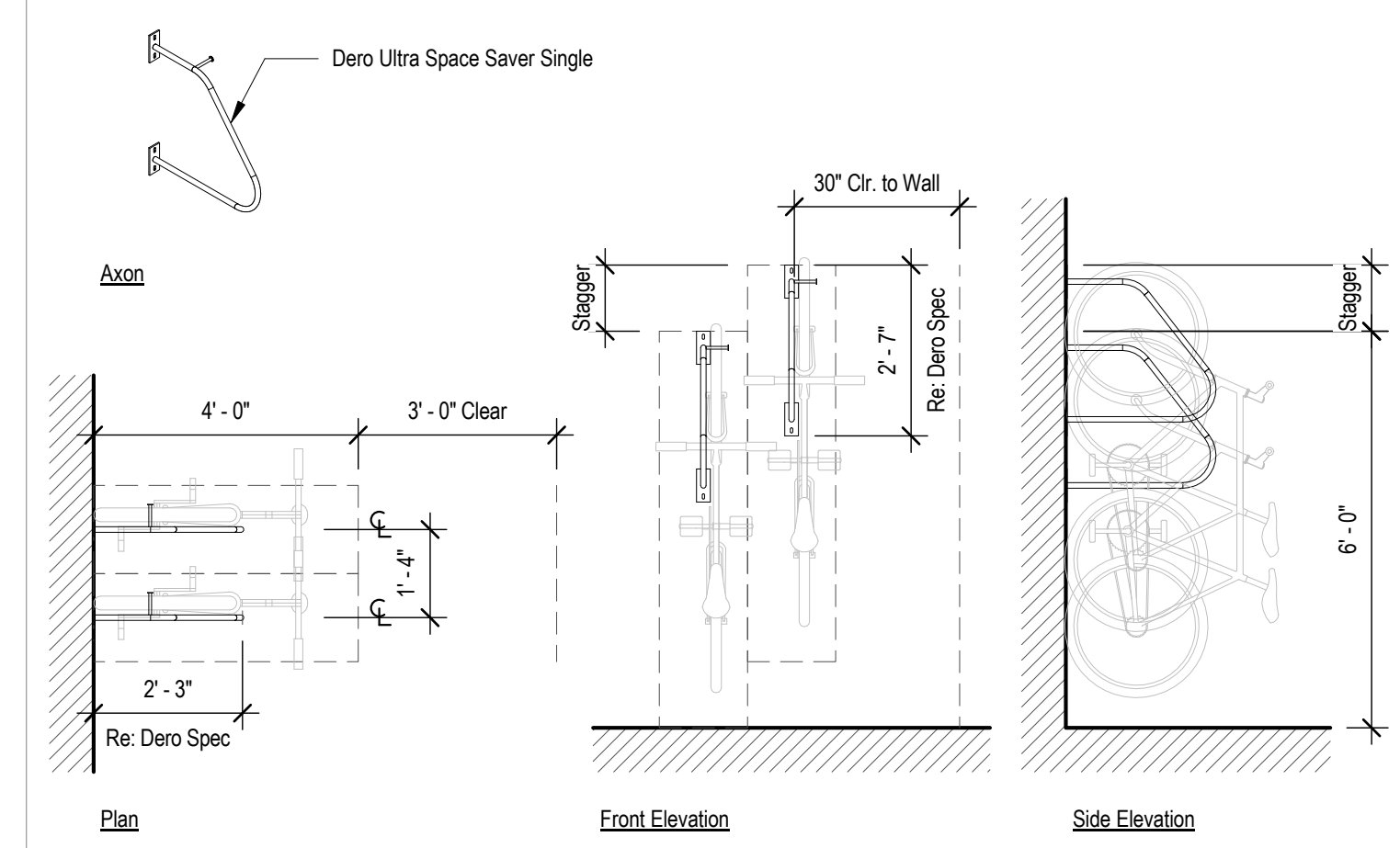
- Acceptable examples of long-term bicycle parking include bicycle lockers, bicycle rooms, bicycle cages, or commercially operated attended bicycle facilities.
- Except in the case of lockers and commercially operated attended bicycle parking, all long-term parking shall provide a means of securing the bicycle frame at two points to a securely anchored rack.

4. Dimensions.

- Each bicycle parking space shall be a minimum 6 feet (72 inches) in length. (i) Design Standards. (1) Dimensions.)
- Vertical Storage.** Long-term bicycle parking may be mounted so that the bicycle is stored vertically. Such devices that hold the bicycle by the wheel shall be designed to support the bicycle without damaging the wheels. Vertically installed bicycle parking shall be a minimum of 4 feet (48 inches) deep and 5 feet (72 inches) in height.
- Stacked Storage.** Long-term or short-term bicycle parking may be mounted so that bicycles are stored in a stacked, two-tier layout, provided such parking is primarily an attended bicycle facility where facility staff parks the bicycles, or such racks provide mechanical assistance for lifting the bicycle.
- Horizontal Storage.** Where bicycles are stored horizontally, devices that hold the bicycle upright by wheel contact shall hold at least 180 degrees of wheel arc.
- Short-term bicycle parking spaces shall be a minimum of 2 feet (24 inches) wide.
- Individual racks installed beside each other that allow bicycles to be locked to either side of the rack shall be spaced a minimum of 30 inches on center.
- Racks installed parallel to walls shall be a minimum of 30 inches from the wall, except that bicycle parking spaces providing a tray or channel for insertion of bicycle wheels may be placed a minimum of 20 inches from the wall, or 14 inches from the wall if such spaces are on the upper level of a stacked, two-tier rack.
- Bicycle parking spaces arranged in a vertically staggered layout that permits bicycles to be placed in and removed from each individual space without interference from bicycles in adjoining spaces may be spaced a minimum of 16 inches on center.
- Long-term bicycle parking spaces shall be sized to permit safe, efficient, and convenient access to each individual bicycle parking space without interference from bicycles in adjoining spaces, as described below.
 - Individual racks installed beside each other within bicycle rooms or bicycle cages that allow bicycles to be locked to either side of the rack shall be spaced a minimum of 30 inches on center.
 - Racks installed parallel to walls shall be a minimum of 30 inches from the wall, with the exception that bicycle parking spaces that provide a tray into which the bicycle wheels may be inserted may be placed a minimum of 20 inches from the wall, or 14 inches from the wall if such spaces are on the upper level of a stacked, two-tier rack.
 - Triangular lockers with varying widths may be used so long as the opening is at least 2 feet (24 inches) wide.
 - Bicycle parking spaces arranged in a vertically staggered layout that permits bicycles to be placed in and removed from each individual space without interference from bicycles in adjoining spaces may be spaced a minimum of 16 inches on center.
 - If more than 20 long-term bicycle parking spaces are provided, a workspace of 100 square feet shall be provided adjacent to the long-term bicycle parking to allow bicyclists to maintain their bicycles. However, where long-term bicycle parking is provided in more than one location, a single workspace may be provided adjacent to the location with the greatest number of long-term bicycle parking spaces.
- For single-tiered bicycle parking, minimum headroom of 7 feet (84 inches) shall be provided. For facilities where two tiers of bicycle parking are installed one above another, minimum headroom of 4 feet (48 inches) shall be provided for each tier.
- Bicycle parking spaces shall be separated from automobile parking spaces or aisles by a wall, fence, or curb or by at least 5 feet of open space marked to prohibit parking.
- Where bicycle parking is adjacent to accessible automobile parking, aisles or loading areas provided for accessible spaces may count towards the open space requirement for bicycle parking so long as they are immediately adjacent to the bicycle parking.



2 3/8" = 1'-0" Short-Term Bike Storage



1 3/8" = 1'-0" Long-Term Bike Storage