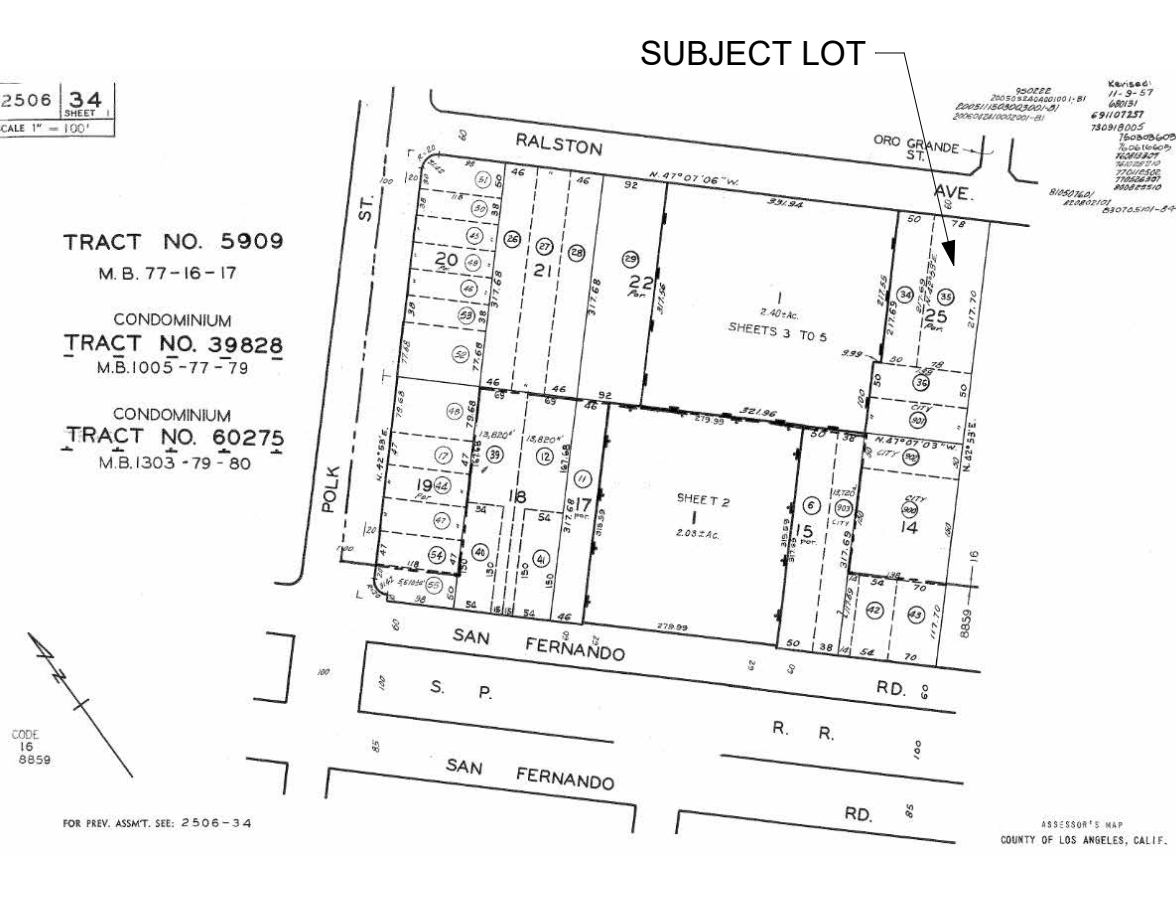
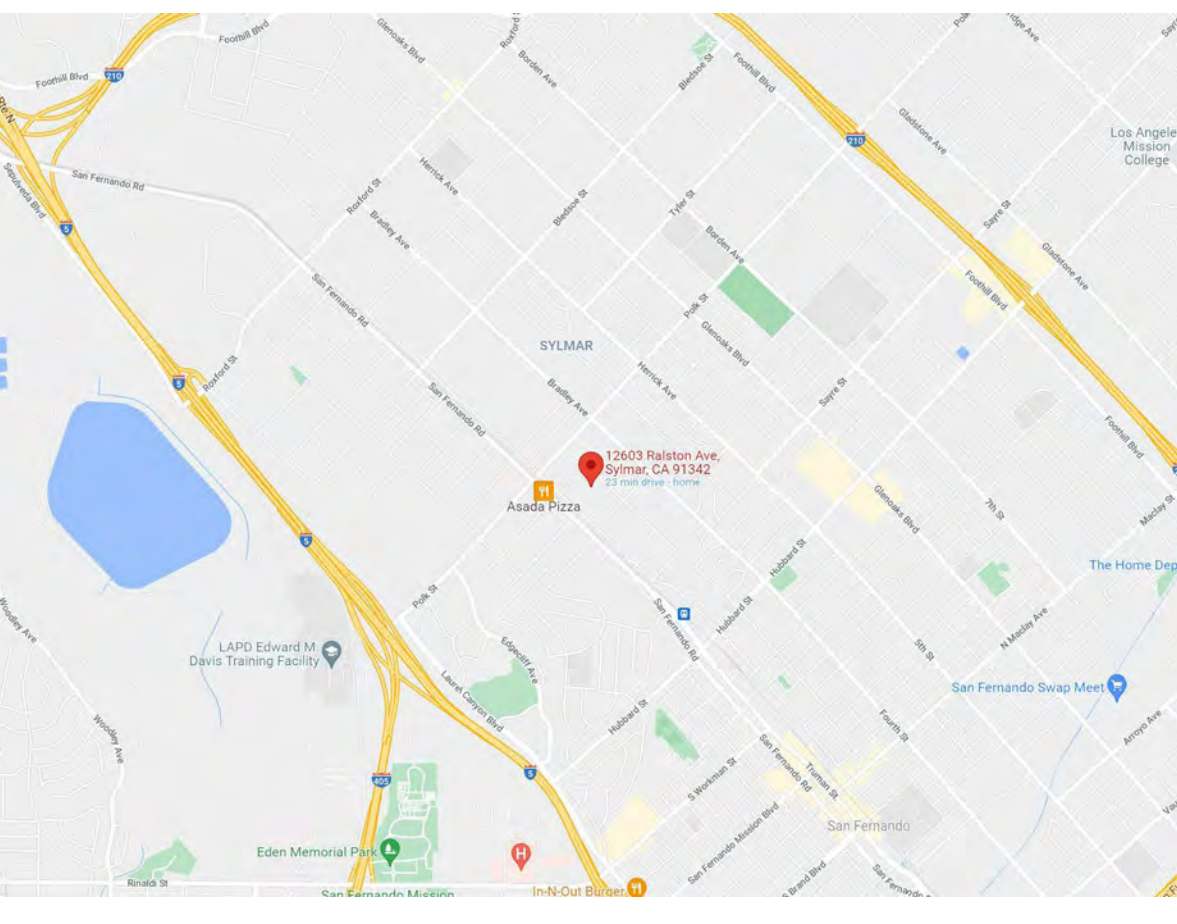


PROJECT INFORMATION	SCOPE OF WORK	CODE INFORMATION	ACCESSORS MAP	VICINITY MAP
<p>SITE ADDRESS 12603 N RALSTON AVE 91342 219B149 239 16,965.3 (SQ FT) PAGE 481 - GRID J5 THOMAS BROTHERS GRID ASSESSOR PARCEL NO. (APN) 2506034035 TR 5909 MAP REFERENCE M B 77-16/17 BLOCK NONE LOT FR 25 ARB (LOT CUT REFERENCE) 5 MAP SHEET 219B149</p> <p>ZONING RD3-1XL-CPIO ZI-2445 COMMUNITY PLAN IMPLEMENTATION OVERLAY: SYLMAR GENERAL PLAN LAND USE LOW MEDIUM I RESIDENTIAL</p> <p>CONSTRUCIOTN TYPE TYPE V-B SPRINKLERED NFPA-13-D</p> <p>MAIN BUILDING 47'-6" X 191'-8" FLOOR AREA 12,189 SF SCHOOL FEE AREA 13,000 SF TOTAL OPEN SPACE 2,245 SF OVERALL BUILDING HEIGHT 27'-4" + 5'-0" ALLOWABLE PROJECTION LOT COVERAGE 46.6%</p> <p>HSAP PLAN CHECK ZONING CODE: (30%)</p> <p>1. ANY DIR OR ZA CASE FOR THE PROJECT N/A 2. DENSITY ANALYSIS N/A 3. F.A.R. N/A 4. BUILDING HEIGHT SHEET A201/3 (27'-3") 5. BUILDING SET BACK SHEET A100 6. BUILDING SEPARATION SHEET A100 (6") 7. NUMBER OF STORY SHEET A102, A201, A301 (2 STORY) 8. NUMBER OF BASEMENT LEVEL N/A 9. PROJECTION INTO YARD N/A 10. OPEN SPACE ANALYSIS SHEET A101 11. PARKING ANALYSIS SHEET A101 12. DRIVEWAY DESIGN SHEET A100 13. RECYCLE ROOM N/A 14. P.Z.A.F.(SEC. 1 AND 2) SHEET A005</p>	<p>1. SMALL LOT SUBDIVISION 2. 5 NEW 2 STORY S.F.D. W ATTACHED 2 CAR GARAGE & ROOF DECK 3. NEW SHARED DRIVEWAY AND APRON 4. NEW MAX. 6FT HIGH BLOCK WALL PERMITER FENCE</p>	<p>THESE PLANS SHALL COMPLY WITH THE FOLLOWING CODES:</p> <p>2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA FIRE CODE</p> <p>2020 LOS ANGELES CITY AMENDMENTS 2020 LOS ANGELES CITY GREEN BUILDING CODE</p>		

RALSTON 5 UNIT

12603 N RALSTONG AVE | LOS ANGELES | CA 91342

BAVA, LLC.

150 S Glenoaks Blvd #109
Burbank, CA 91504

818.359.1946
www.bavala.com
info@bavala.com

RALSTON 5 UNIT

12603 N Ralston Ave
Los Angeles, CA 91342

20LA004

Date	Description

COVER

A000

Project number 20LA004
Date 5/19/2023
Drawn by SV
Checked by SV

Scale

CONSULTANTS	SCHEDULES	SYMBOL LEGEND	SHEET LEGEND
-------------	-----------	---------------	--------------

Mark	Width	Height	Head Height	Window Type	Glazing Type	Frame Material	Comments
A	3' - 4"	4' - 6"	8' - 0"	CSMT / FIXED	DUAL	FIBERGLASS	
B	1' - 5"	8' - 0"	8' - 0"	SIDELITE	DUAL	FIBERGLASS	
C	4' - 0"	8' - 0"	15' - 0"	FIXED	DUAL	FIBERGLASS	
D	6' - 0"	6' - 0"	8' - 0"	BOX BAY	DUAL	FIBERGLASS	
E	4' - 8"	2' - 0"	7' - 0"	AWNING	DUAL	FIBERGLASS	
F	4' - 8"	2' - 0"	7' - 0"	AWNING	DUAL	FIBERGLASS	
G	3' - 0"	5' - 0"	8' - 0"	CSMT	DUAL	FIBERGLASS	
H	4' - 9"	4' - 6"	8' - 0"	CSMT / FIXED	DUAL	FIBERGLASS	
I	6' - 0"	5' - 0"	8' - 0"	FIXED	DUAL	FIBERGLASS	
J	2' - 0"	8' - 0"	8' - 0"	SIDELITE	DUAL	FIBERGLASS	
K	3' - 6"	5' - 0"	8' - 0"	CSMT	DUAL	FIBERGLASS	
L	5' - 6"	4' - 6"	8' - 0"	CSMT / FIXED	DUAL	FIBERGLASS	
M	4' - 0"	8' - 0"	15' - 0"	FIXED	DUAL	FIBERGLASS	
N	6' - 0"	5' - 0"	8' - 0"	FIXED	DUAL	FIBERGLASS	

Mark	Count	Width	Height	Type Comments	Material	Comments
1	5	16' - 0"	7' - 0"	GARAGE ROLL UP	ALUMINUM	
2	5	3' - 6"	8' - 0"	ENTRY S.C. SWING	WOOD	
3	63	2' - 8"	8' - 0"	H.C. SWING	WOOD	
4	1	2' - 6"	8' - 0"	S.C. SWING	WOOD	
5	5	20' - 0"	8' - 0"	STACKING	ALUMINUM	
6	5	3' - 4"	8' - 0"	H.C. SWING	WOOD	
7	5	2' - 8"	8' - 0"	S.C. FRENCH SWING	FIBERGLASS	
8	15	8' - 0"	8' - 0"	S.C. FRENCH SLIDER	FIBERGLASS	
9	5	2' - 8"	6' - 8"	S.C. FRENCH SWING	FIBERGLASS	
10	5	3' - 0"	6' - 8"	SWING	ALUMINUM	

SYMBOL LEGEND

- ☁ SMOKE DETECTOR (SEE 59/A001)
- ☯ CARBON MONOXIDE DETECTOR (SEE 60/A001)
- ⊕ ELECTRICAL SERVICE PANEL
- ⊖ EXHAUST FAN (SEE 54/A001)
- ### KEYNOTE ON SAME SHEET
- # DOOR TAG
- ⊗ WINDOW TAG
- ▲ ### ELEVATION MARK
- # SLOPE N.G. NATURAL GRADE
- BRAKE LINE F.G. FINISH GRADE
- STEP F.S. FINISH SURFACE
- ⊙ OUTLET L.G. LOWEST GRADE
- DOWN SPOT T.O.C. TOP OF CURB
- CURB DRAIN T.O.W. TOP OF WALL

SECTION NUMBER
00 SECTION SYMBOL SHEET
DETAIL NUMBER
00 DETAIL SYMBOL SHEET

WALL LEGEND

- PROJECT OF WALL ABOVE/BELOW
- NEW STUD WALL
- 1HR FIRE RATED WALL

NOTE: REFER TO STRUCTURAL DRAWINGS FOR INFORMATION REGARDING WALL CONSTRUCTION

SHEET LEGEND

COVER	TITLE PAGE
	<u>LANDSCAPE</u>
I-1	GROUND FLOOR IRRIGATION PLAN
I-2	HYDROZONE MAP
I-3	IRRIGATION DETAILS
L-1	GROUND LEVEL LANDSCAPE PLAN
L-2	PERMABILITY PLAN
	<u>ARCHITECTURAL</u>
A001	CITY OF STANDARD NOTES
A002	NOTES FOR CONSTRUCTOR
A003	SPECS
A004	CPIO DESIGN GUIDELINES
A005	AREA PLAN & SCHEDULES
A100	SITE PLAN
A101	KEY PLAN
A103	UNIT A FLOOR PLANS
A104	UNIT B FLOOR PLANS
A105	UNIT C FLOOR PLANS
A106	UNIT D FLOOR PLANS
A107	UNIT E FLOOR PLANS
A108	ROOF PLAN
A201	ELEVATIONS
A301	CROSS SECTIONS & DETAILS
	<u>STRUCTURAL</u>
S-1	GENERAL NOTES & DETAILS
S-2	DETAILS & SECTIONS
S-3	DETAILS & SECTIONS
S-4	DETAILS & SECTIONS
S-5.1	UNIT A 2ND FLOOR FRAMING & FOUNDATION PLAN
S-5.2	UNIT A STAIR ROOF& ROOF DECK FRAMINGN PLAN
S-6.1	UNIT B 2ND FLOOR FRAMING & FOUNDATION PLAN
S-6.2	UNIT B STAIR ROOF& ROOF DECK FRAMINGN PLAN
S-7.1	UNIT C 2ND FLOOR FRAMING & FOUNDATION PLAN
S-7.2	UNIT C STAIR ROOF& ROOF DECK FRAMINGN PLAN
S-8.1	UNIT E 2ND FLOOR FRAMING & FOUNDATION PLAN
S-8.2	UNIT E STAIR ROOF& ROOF DECK FRAMINGN PLAN
	<u>ENERGY</u>
W601	UNIT A TITLE 24 SPECIFICATIONS
W602	UNIT B TITLE 24 SPECIFICATIONS
W603	UNIT C TITLE 24 SPECIFICATIONS
W604	UNIT D TITLE 24 SPECIFICATIONS
W605	UNIT E TITLE 24 SPECIFICATIONS



CLIENT

Tigran Ogannisian
 12603 Ralston Ave
 Sylmar, CA 91342

PROJECT

12603 Ralston Ave

DATE

12-23-2021

REVISIONS

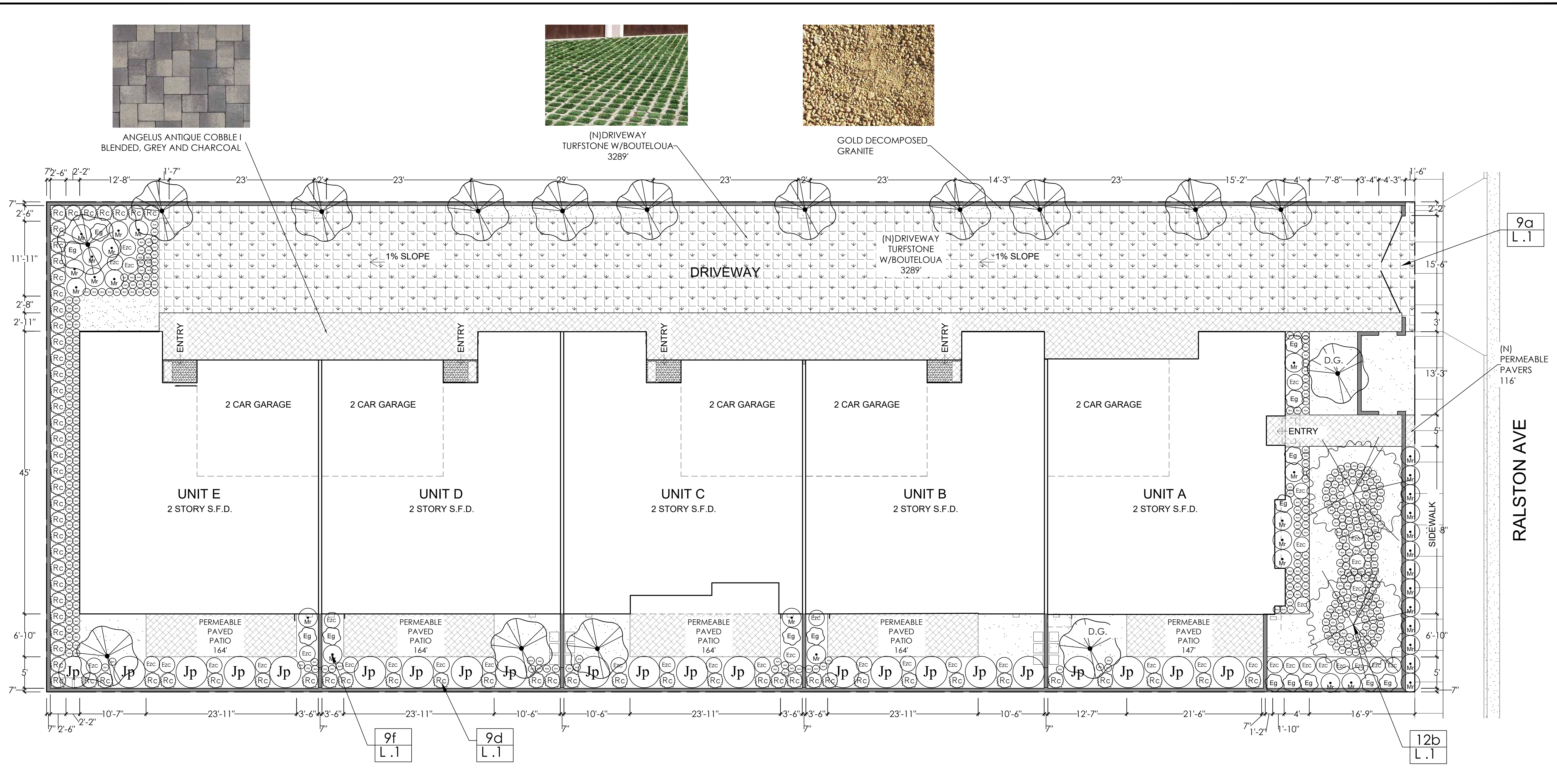
NO.	REVISION	DATE
1		5-12-2023
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		

DRAWING BY: Alisa Summerford
 SCALE: 1/8" = 1'-0"

SHEET TITLE
 GROUND LEVEL
 LANDSCAPE PLAN

SHEET NUMBER

L-1
 SHEET 1 OF 2



SQ. FOOTAGE CHARTS

TOTAL FRONT LANDSCAPE 943 SQ. FT	TOTAL FRONT HARDSCAPE 731 SQ. FT.
TOTAL BACK LANDSCAPE 4565 SQ. FT	TOTAL BACK HARDSCAPE 2777 SQ. FT.
TOTAL LANDSCAPE 5508 SQ. FT	TOTAL HARDSCAPE 3508 SQ. FT.



LANDSCAPE NOTES:

- "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans".
- "A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated".
- "For soils less than 6% organic matter in the top 6 inches of soil, compost at a rate of a minimum of four cubic yards per 1,000 square feet of permeable area shall be incorporated to a depth of six inches into the soil".
- "A Certificate of Completion shall be filled out and certified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed landscape contractor for the project".

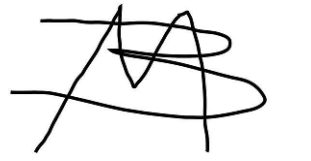
CITY OF LOS ANGELES
 LANDSCAPE POINTS

Item No.	Description	Points	Points Claimed	Callout
9	Site Design A. Provision of permeable driveway	5		9a L.1
9	Site Design D. Use of 100% California native plants throughout the project (50% of Landscape points)	10		9d L.1
9	Site Design F. Use of Class I or Class II compost as a soil amendment in all landscaped areas	3		9f L.1
12	Bonus Points B. Planting of any tree, of a tree taxon that does not exist within a 1000-foot radius of the project boundaries (5 points per tree, up to 50% of required landscape points, for Los Angeles area native plants)	10		12b L.1
TOTAL NUMBER POINTS CLAIMED:		28		

Legend:
 1 Item No. per LA City Guidelines Sheet No.
 L.1

"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"
 OWNER SIGNATURE _____

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DETAILS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THEREOF REMAINS IN THE LANDSCAPE DESIGNER. VISUAL CONTACT CONSTITUTE ACCEPTANCE OF THESE RESTRICTIONS.



CLIENT

Tigran Oganissian
12603 Ralston Ave
Sylmar, CA 91342

PROJECT

12603 Ralston Ave

DATE

12-23-2021

REVISIONS

△	5-12-2023
△	-
△	-
△	-
△	-
△	-
△	-
△	-
△	-
△	-
△	-
△	-
△	-
△	-

DRAWING BY: Alisa Summerford
SCALE:

SHEET TITLE
LANDSCAPE LEGEND,
IMAGES, AND DETAILS

SHEET NUMBER

L-2

SHEET 2 OF 2

PLANT LEGEND:

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	PLANT TYPE
	16	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX	VERY LOW <10%	NATIVE TREE
	2	FRAXINUS DIPETALA	FOOTHILL ASH	24" BOX	LOW 10-30%	NATIVE TREE
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	PLANT TYPE
	351	ACHILLEA MILLEFOLIUM (CA NATIVE CULTIVARS)	YARROW	1 GAL	LOW 10-30%	NATIVE GROUND COVER
	3289'	BOUTELOUA GRACILIS	BLUE GRAMA	SOD	LOW 10-30%	NATIVE GRASS
	8	EPILOBIUM ZAUSCHNERIA	CALIFORNIA FUCHSIA,	5 GAL	VERY LOW <10%	NATIVE PERENNIAL
	15	ERIOGONUM GRANDE VAR. RUBESCENS	SAN MIGUEL ISLAND BUCKWHEAT	5 GAL	VERY LOW <10%	NATIVE PERENNIAL
	22	JUNIPERUS CALIFORNICA	CALIFORNIA JUNIPER	15 GAL	VERY LOW <10%	NATIVE SHRUB
	33	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	LOW 10-30%	NATIVE PERENNIAL
	68	RHAMNUS CALIFORNICA	COFFEEBERRY	15 GAL	VERY LOW <10%	NATIVE SHRUB

PLANT IMAGES:



GROUND COVER DETAIL:

Notes:
1. See planting legend for groundcover species, size, and spacing dimensions.
2. Shrub cover (P-X) must be done around, to, or across the root ball depending on conditions at the time of planting. Grasses on the property can be removed at the time of planting (See root ball showing container detail).
3. Stake and secure root ball of every groundcover prior to installing.

(P-X) GROUND COVER

SHRUB DETAIL:

Notes:
1. Shrub shall be of quality prescribed in the root observations detail and specifications.
2. See specifications for further requirements related to this detail.

(P-X) SHRUB - UNMODIFIED SOIL

TREE DETAIL:

Notes:
1. Trees shall be of quality prescribed in the root observations detail and specifications.
2. See specifications for further requirements related to this detail.

(P-X) TREE IN POORLY DRAINED SOIL

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DETAILS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE THEREOF REMAINS IN THE LANDSCAPE DESIGNER. USE WITHOUT WRITTEN CONSENT OF GREEN REPUBLIC LANDSCAPES IS PROHIBITED. VISUAL CONTACT CONSTITUTES ACCEPTANCE OF THESE RESTRICTIONS.



CLIENT

Tigran Oganissian
12603 Ralston Ave
Sylmar, 91342

PROJECT

12603 Ralston Ave

DATE

12-23-2021

REVISIONS

Rev	Description	Date
1	5-12-2023	
2		
3		
4		
5		
6		
7		
8		
9		
10		

DRAWING BY: Saul Navarro

SCALE: 1/8" = 1'-0"

SHEET TITLE

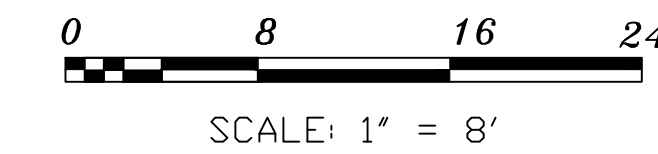
GROUND FLOOR IRRIGATION PLAN

SHEET NUMBER

I-1

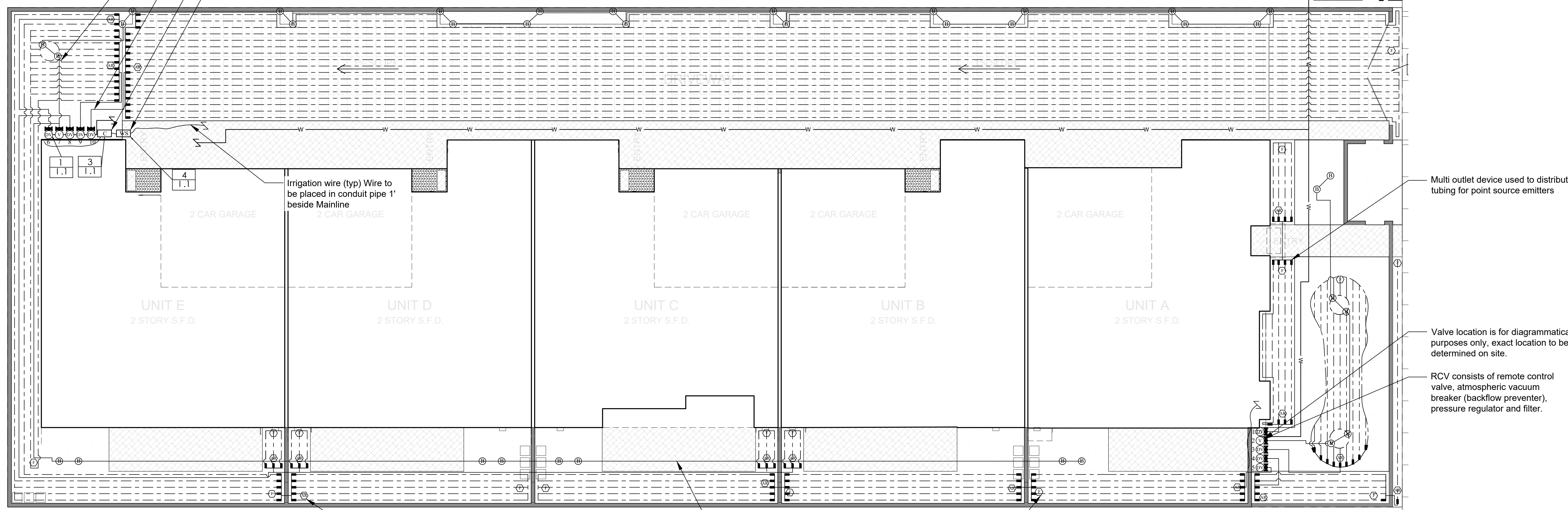
SHEET 1 OF 3

IRRIGATION PLAN



- All lateral lines overlapping Drip lines shall have a minimum of 8" vertical space(TYP)
- Pipe laid in the same trench must be laid side by side and not overlapped. Provide 6" horizontal clearance between irrigation lines. Do not install parallel lines directly over any other line. (typ)
- Contractor to determine controller location pending available AC power. Controller needs rain sensor and moisture sensor.
- On site weather station location to be determined by contractor. Weather station shall be placed in direct sunlight.

- Pressure regulator to be set at 65 PSI
- Normally opened master valve
- Flow Sensor
- Backflow Preventer
- Manual Gate Valve
- New Water Meter



Irrigation wire (typ) Wire to be placed in conduit pipe 1' beside Mainline

Multi outlet device used to distribute tubing for point source emitters

Valve location is for diagrammatical purposes only, exact location to be determined on site.

RCV consists of remote control valve, atmospheric vacuum breaker (backflow preventer), pressure regulator and filter.

Air relief: All air relief valves to be placed inside valve box

Flush valve (typ) to be placed at the end of every drip run

All pipe under any kind of hardscape, including permeable, shall be sleeved.

LEGEND

POC

- WM** NEW WATER METER: 3/4" WITH 100PSI MIN 80 PSI
- BF** Double Check Valve Backflow Prevention Device: Febco: 850 Installed above ground
- PR** Pressure Regulator Connected to Master valve: Output to be set at 65 PSI Accu Sync: AS-ADJ
- MV** Normally Opened master valve : Hunter: ICV-101G - AS-ADJ Enclosure: Valve box: PVBSTD 12"
- FS** Flow Sensor: Hunter: Wireless Flow Sensor: WFS Enclosure: Valve box: PVBSTD 12"
- IV** Isolation valve: Manual Ball valve - 1" Enclosure: Valve box: PVB6RNDGL:6" round green lid

VALVES

- IV** Isolation valve: PVC Ball valve - 1" Enclosure: Valve box: PVB6RNDGL:6" round green lid
- DV** Single station drip valve with PRS: Hunter PCZ-101-LF-40 Valve box: PVBSTD 12"
- V** Single station valve with PRS: Hunter PGV-101G-30 Valve box: PVBSTD 12"

PIPING

- ML 1"** Sleeve: All pipe crossing hardscape, including permeable shall be sleeved Mainline: Schedule 40 PVC - All mainline 1"
- L 3/4"** Lateral: Schedule 40 PVC - ALL Laterals to be 3/4" or 1"
- L 1"** PVC to Dripline coupling

CONTROLLER

- C** Controller: Hunter: IC-600PL (6 station controller) with 1x IC-600-SS (6 station plug-in expansion module) and connected to weather station Enclosure: Wall Mount
- WS** Weather Station: Hunter Solar Sync: WSS-SEN (Wireless)
- WC** Controller: Wire Conduit (read general notes)

REMOTE CONTROL VALVE

Hydrozone number	Valve size	# gpm	Flow rate	# in/hr	Precipitation rate

DISTRIBUTION

- AR** Air relief valve for drip: Netafim - TLAVRV Valve box: Rainbird - SEB 7xb
- F** Flush valve for drip: Netafim - TLFV-1 Valve box: Rainbird - SEB 7xb
- B** Bubbler: Trees - Hunter Root zone watering system: RZWS-18
- DL** Drip line: NETAFIM TLCV4-12 Techline dripline (specified on map) NETAFIM TLCV6-12 Techline dripline (specified on map)

VALVE SPECS

Item No.	Flow rate	Flow rate
1	3 gpm	3 gpm
2	7 gpm	7 gpm
3	3 gpm	3 gpm

Item No.	Flow rate	Flow rate
4	3 gpm	3 gpm
5	7 gpm	7 gpm
6	3 gpm	3 gpm
7	7 gpm	7 gpm
8	3 gpm	3 gpm
9	3 gpm	3 gpm
10	3 gpm	3 gpm

Item No.	Flow rate	Flow rate
1	3 gpm	3 gpm
2	7 gpm	7 gpm
3	3 gpm	3 gpm
4	7 gpm	7 gpm
5	3 gpm	3 gpm
6	3 gpm	3 gpm
1032	1032 gpm	1032 gpm

THE USE AND PUBLICATION OF THESE PLANS, SPECIFICATIONS, AND DESIGNS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND PHASE FOR WHICH THEY WERE PREPARED AND TITLE HERETO REMAINS IN THE LANDSCAPE DESIGNER. USE WITHOUT WRITTEN CONSENT OF GREEN REPUBLIC LANDSCAPES IS PROHIBITED. VISUAL CONTACT COPIES ARE NOT TO BE MADE. VISUAL CONTACT COPIES ARE NOT TO BE MADE. VISUAL CONTACT COPIES ARE NOT TO BE MADE.

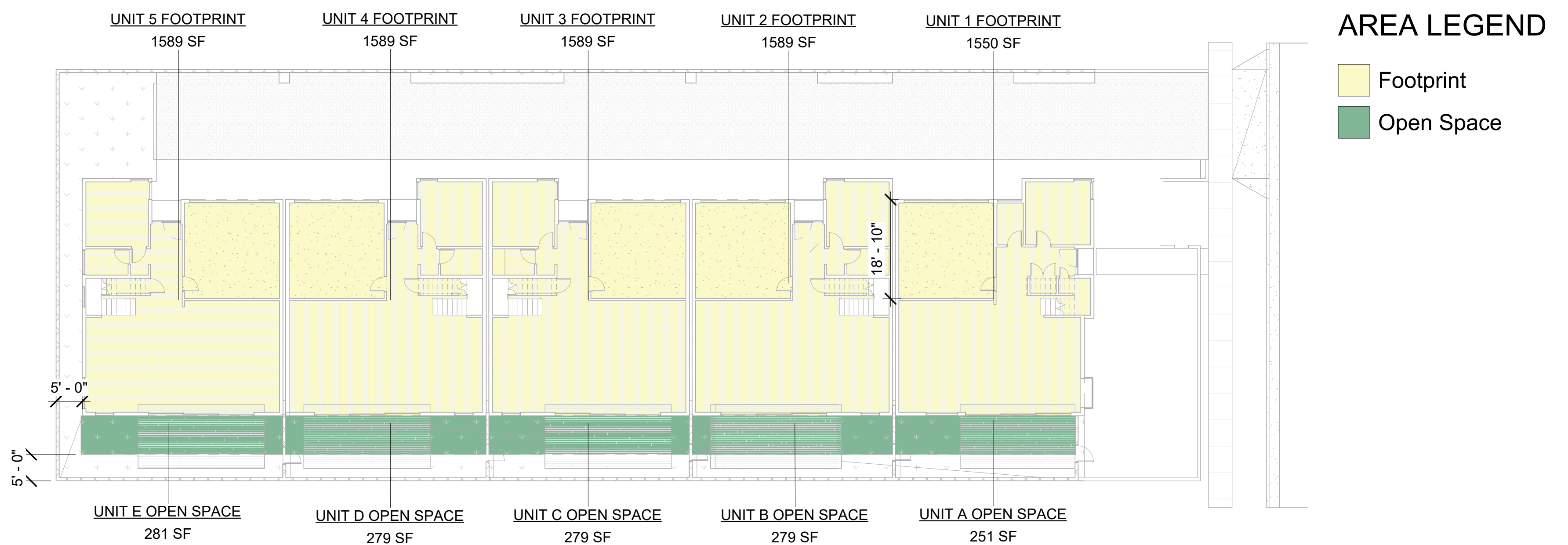
LIVING AREA SCHEDULE		
AREA LOCATION	LEVEL	AREA (INTERIOR WALL)
UNIT A 1ST FLOOR	1ST FLOOR	1,095 SF
UNIT A 2ND FLOOR	2ND FLOOR	1,294 SF
UNIT A COVERED DECK	2ND FLOOR	151 SF
UNIT A COVERED PORCH	1ST FLOOR	15 SF
UNIT B 1ST FLOOR	1ST FLOOR	1,135 SF
UNIT B 2ND FLOOR	2ND FLOOR	1,321 SF
UNIT B COVERED DECK	2ND FLOOR	162 SF
UNIT B COVERED PORCH	1ST FLOOR	21 SF
UNIT C 1ST FLOOR	1ST FLOOR	1,135 SF
UNIT C 2ND FLOOR	2ND FLOOR	1,321 SF
UNIT C COVERED DECK	2ND FLOOR	160 SF
UNIT C COVERED PORCH	1ST FLOOR	21 SF
UNIT D 1ST FLOOR	1ST FLOOR	1,135 SF
UNIT D 2ND FLOOR	2ND FLOOR	1,321 SF
UNIT D COVERED DECK	2ND FLOOR	158 SF
UNIT D COVERED PORCH	1ST FLOOR	21 SF
UNIT E 1ST FLOOR	1ST FLOOR	1,135 SF
UNIT E 2ND FLOOR	2ND FLOOR	1,321 SF
UNIT E COVERED DECK	2ND FLOOR	153 SF
UNIT E COVERED PORCH	1ST FLOOR	21 SF
Grand total:	20	13,098 SF

PARKING AREA SCHEDULE		
AREA LOCATION	LEVEL	AREA (INTERIOR WALL)
UNIT A GARAGE	1ST FLOOR	326 SF
UNIT B GARAGE	1ST FLOOR	326 SF
UNIT C GARAGE	1ST FLOOR	326 SF
UNIT D GARAGE	1ST FLOOR	326 SF
UNIT E GARAGE	1ST FLOOR	326 SF

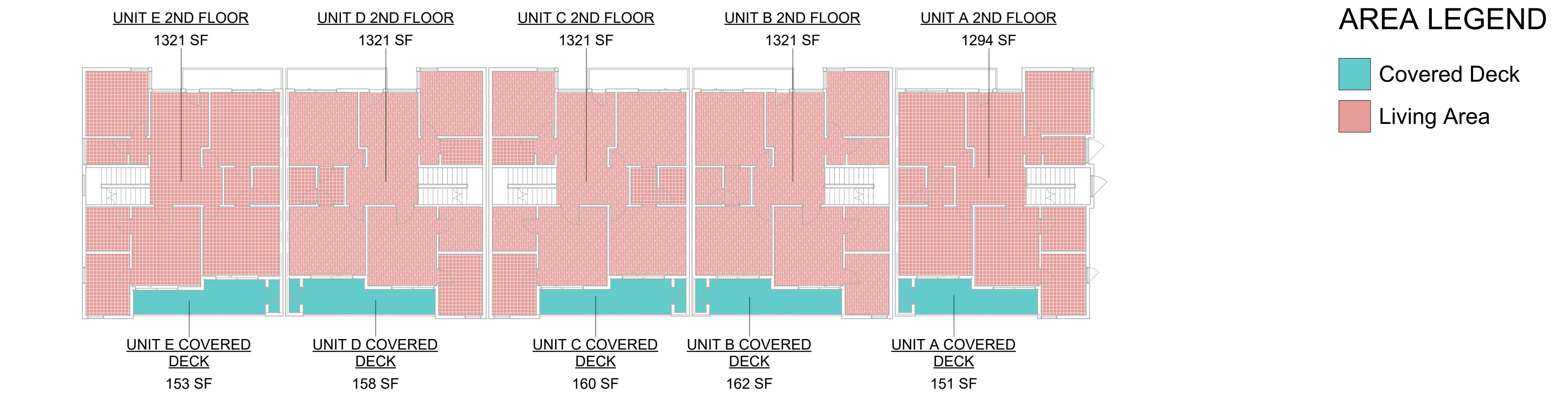
OPEN SPACE AREA SCHEDULE		
AREA LOCATION	LEVEL	AREA (INTERIOR WALL)
UNIT A OPEN SPACE	A. G.	251 SF
UNIT B OPEN SPACE	A. G.	279 SF
UNIT C OPEN SPACE	A. G.	279 SF
UNIT D OPEN SPACE	A. G.	279 SF
UNIT E OPEN SPACE	A. G.	281 SF
Grand total:	5	1,368 SF

LOT COVERAGE SCHEDULE			
AREA LOCATION	AREA	LOT AREA	LOT COVERAGE
UNIT 1 FOOTPRINT	1,550 SF	4570.02 S.F.	33.9 %
UNIT 2 FOOTPRINT	1,589 SF	3003 S.F.	52.9 %
UNIT 3 FOOTPRINT	1,589 SF	3003 S.F.	52.9 %
UNIT 4 FOOTPRINT	1,589 SF	3003 S.F.	52.9 %
UNIT 5 FOOTPRINT	1,589 SF	3394.56 S.F.	46.8 %

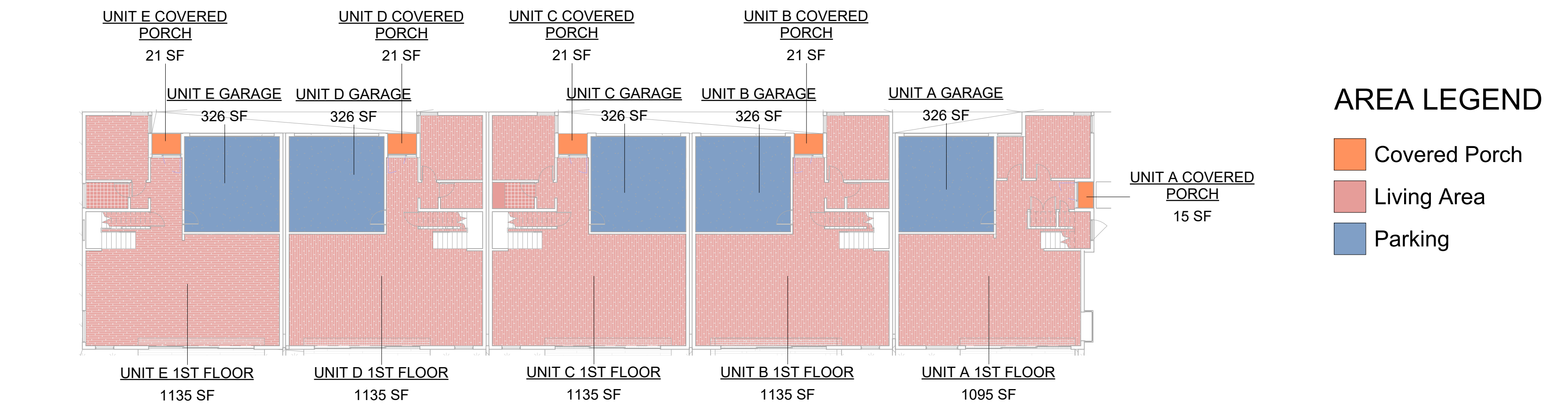
MAX FAR = (16,965.3 - 12,390) x 3 = 4,575.3 x 3 = 13,725.9 S.F.



3 OPEN SPACE AREA / LOT COVERAGE PLAN
 1/16" = 1'-0"



2 2ND FLOOR AREA PLAN
 1/16" = 1'-0"



1 1ST FLOOR AREA PLAN
 1/16" = 1'-0"

BAVA, LLC.
 150 S. Glenoaks Blvd #109
 Burbank, CA 91504
 818.359.1946
www.bavalba.com
info@bavalba.com

RALSTON 5 UNIT
 12603 N Ralston Ave
 Los Angeles, CA 91342

20LA004

No.	Description	Date

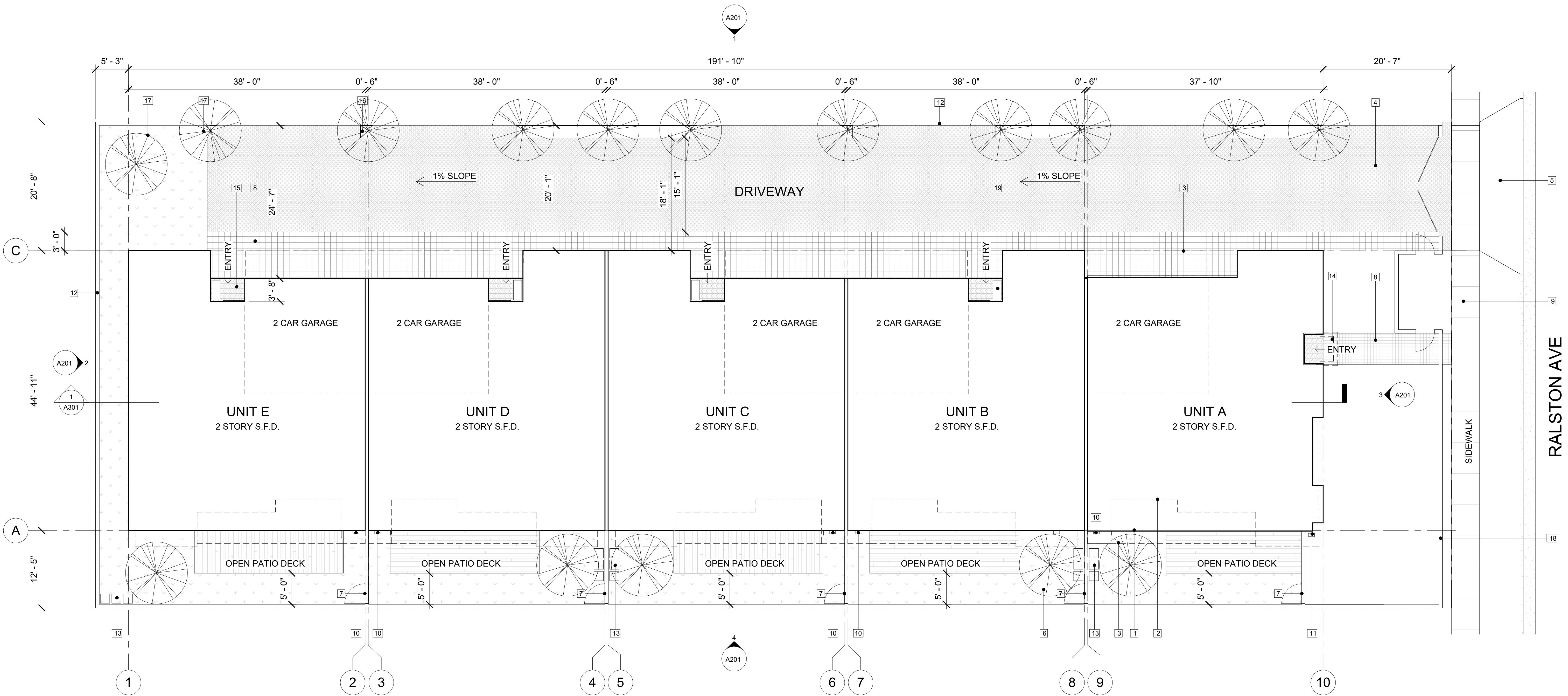
AREA SCHEDULE	
Project number	20LA004
Date	5/19/2023
Drawn by	SV
Checked by	SV
A101	
Scale	1/16" = 1'-0"

KEYNOTES

- 1. LINE OF 1ST FLOOR
- 2. LINE OF 2ND FLOOR
- 3. LINE OF 2ND FLOOR BALCONY
- 4. CONCRETE TURFSTONE PAVERS WITH DROUGHT TOLERANT GRASS
- 5. (N) APRON
- 6. EXTERIOR LIGHTS, TYP.
- 7. 32" WIDE SWING GATE, TYP.
- 8. (N) OPEN GRID PERMEABLE PEDESTRIAN WALKWAY
- 9. (N) SIDEWALK
- 10. ELECTRIC PANEL/METER, TYP.
- 11. GAS METER, TYP.
- 12. 6' HIGH BLOCK WALL FENCE, TYP.
- 13. TRASH BINS, TYP.
- 14. TRELLIS
- 15. DECORATIVE PAVEMENT AT ENTRY LANDING OF ALL UNITS
- 16. IN GROUND MIN. 24IN PLANTER
- 17. MIN. 6FT HIGH TREE PER LA CITY PLANNING URBAN DESIGN STUDIO STANDARTS
- 18. MAX. 42" HIGH FENCE
- 19. BENCH, TYP.

NOTES

- 1. UTILITY METERS SHALL BE PLACED IN SIDE YARDS OR LANDSCAPED AREAS THAT ARE NOT IN LINE OF SIDEWALKS.
- 2. ANY OUTDOOR LIGHTING SHALL BE DESIGNED TO REFLECT AWAY FROM ADJACENT PROPERTIES & STREETS AND SHOULD BE DESIGNED TO REFLECT ON THE PEDESTRIAN PATHWAY.
- 3. ALL PRIMARY ENTRYWAYS SHALL PROVIDE THE ADDRESS OR UNIT IDENTIFICATION ORNAMENTAL LOW-LEVEL LIGHTING TO ILLUMINATE THE ENTRY AREA, AND A LANDING AREA.



1 SITE PLAN
1/8" = 1'-0"

RALSTON 5 UNIT

12603 N Ralston Ave
Los Angeles, CA 91342

BAVA, LLC.

150 S Glenoaks Blvd #109
Burbank, CA 91504

818.359.1946

www.bavallc.com
info@bavallc.com

20LA004

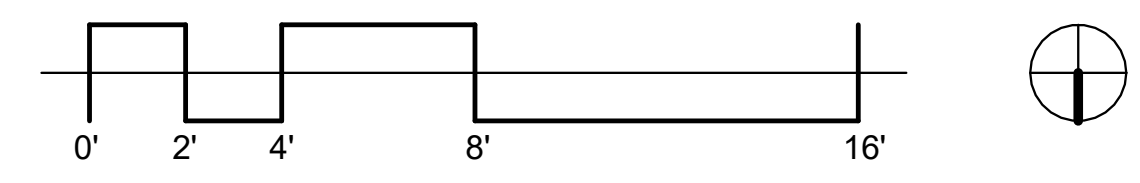
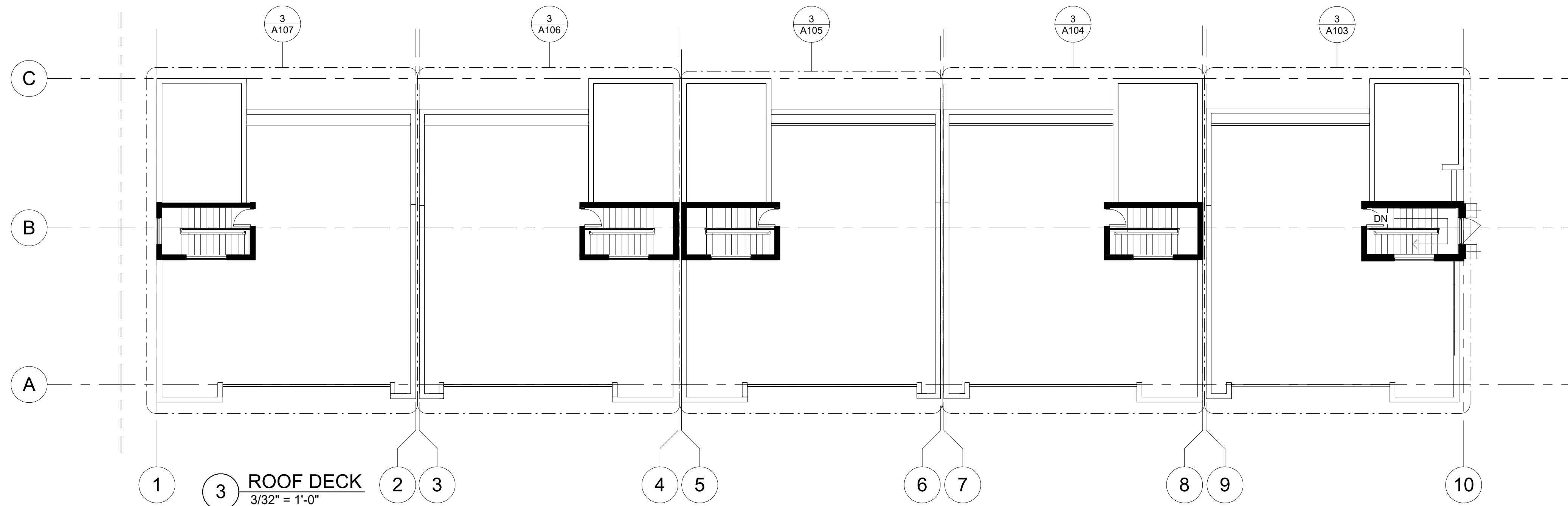
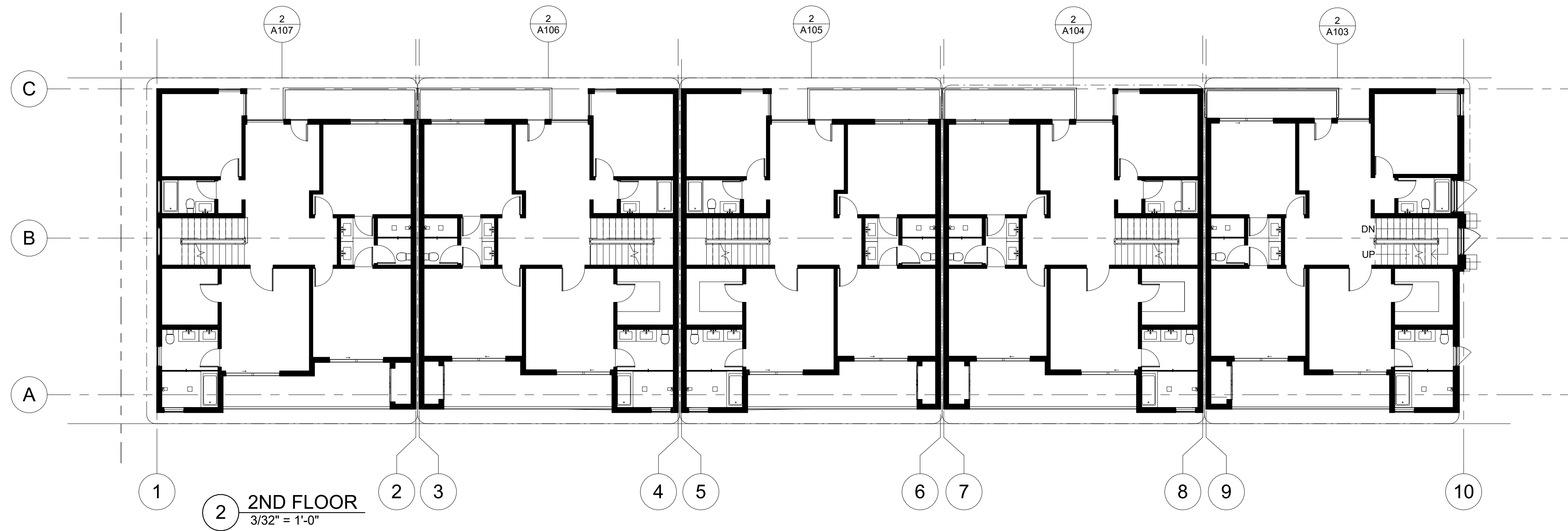
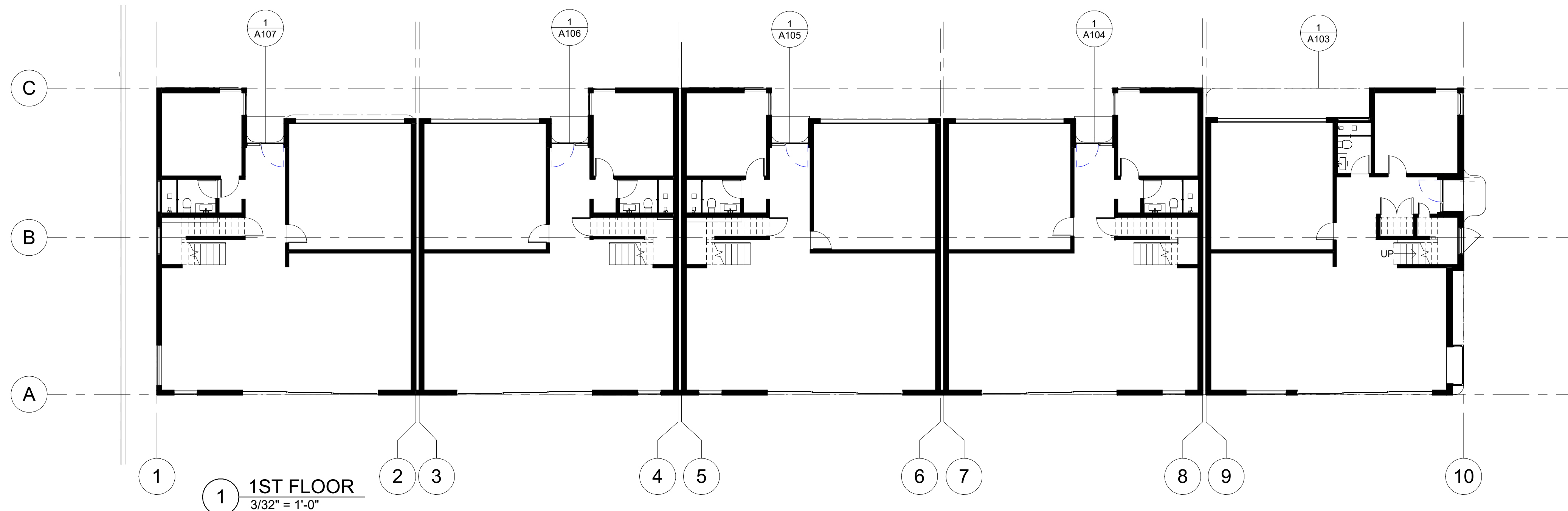
No.	Description	Date

SITE PLAN

Project number: 20LA004
Date: 5/19/2023
Drawn by: SV
Checked by: SV

A100

Scale: 1/8" = 1'-0"



BAVA, LLC.
150 S. Glenoaks Blvd #109
Burbank, CA 91504
818.359.1946
www.bavabuild.com
info@bavabuild.com

RALSTON 5 UNIT
12603 N Ralston Ave
Los Angeles, CA 91342

20LA004

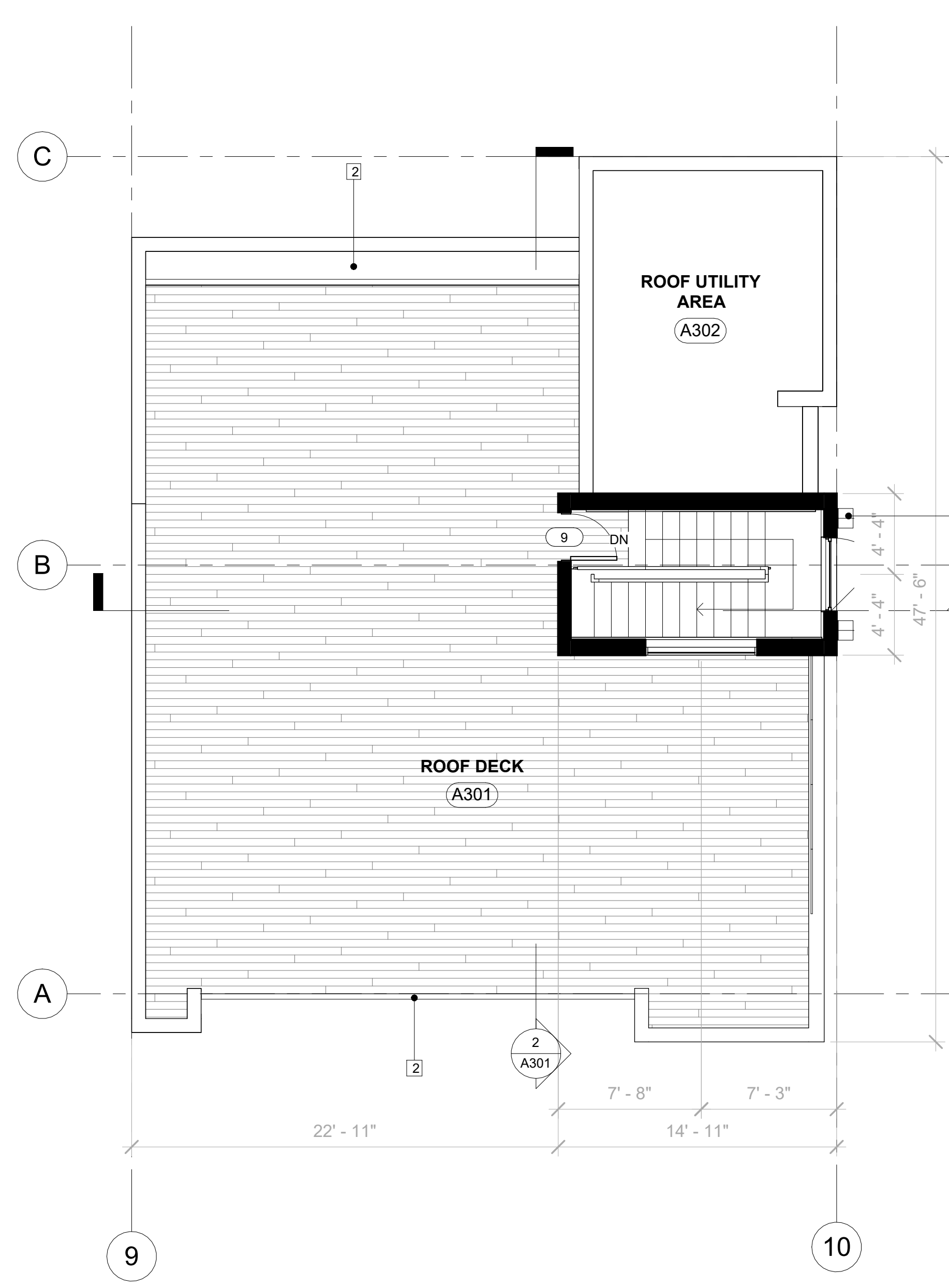
No.	Description	Date

KEY PLAN

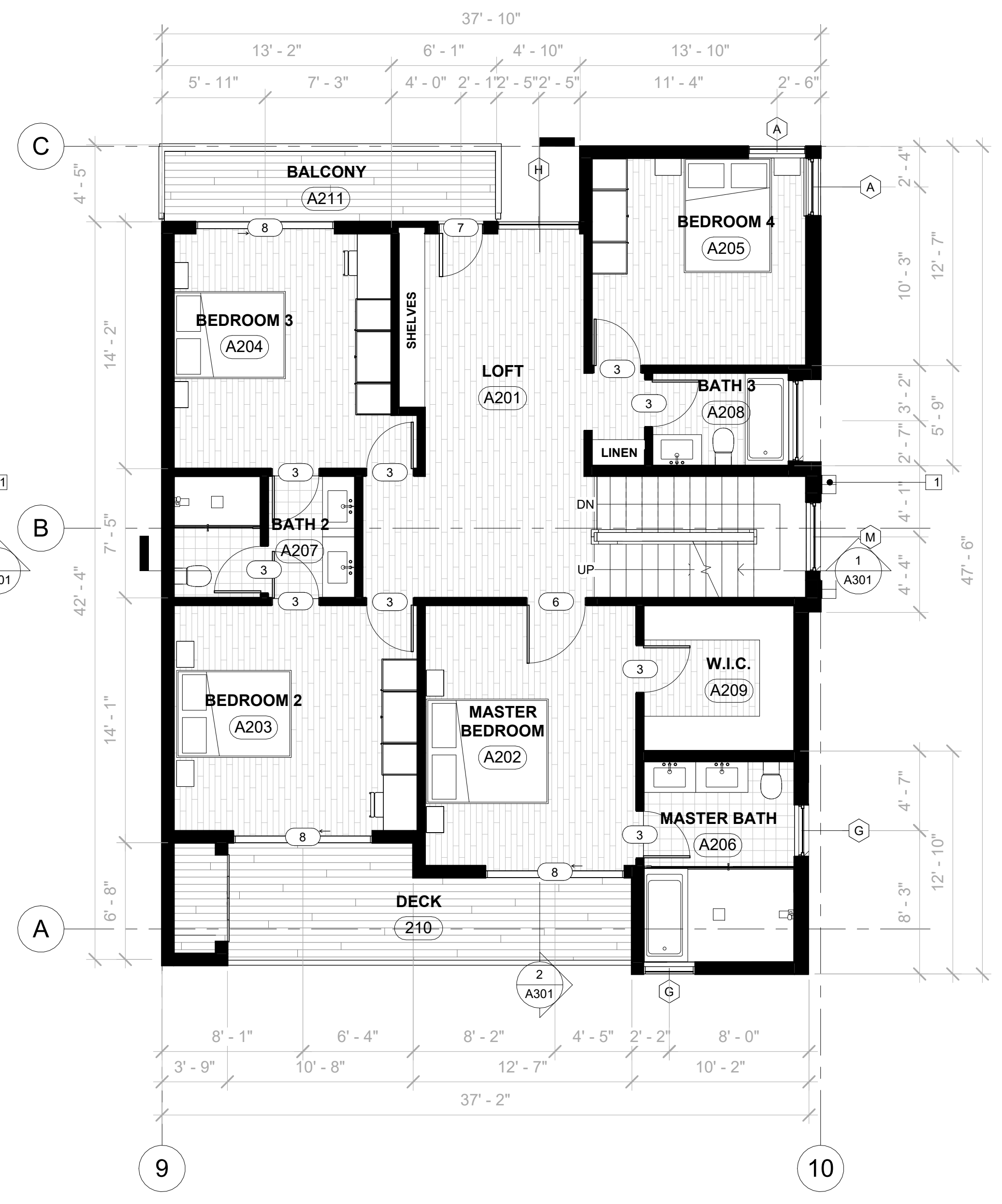
Project number 20LA004
Date 5/19/2023
Drawn by SV
Checked by SV

A102

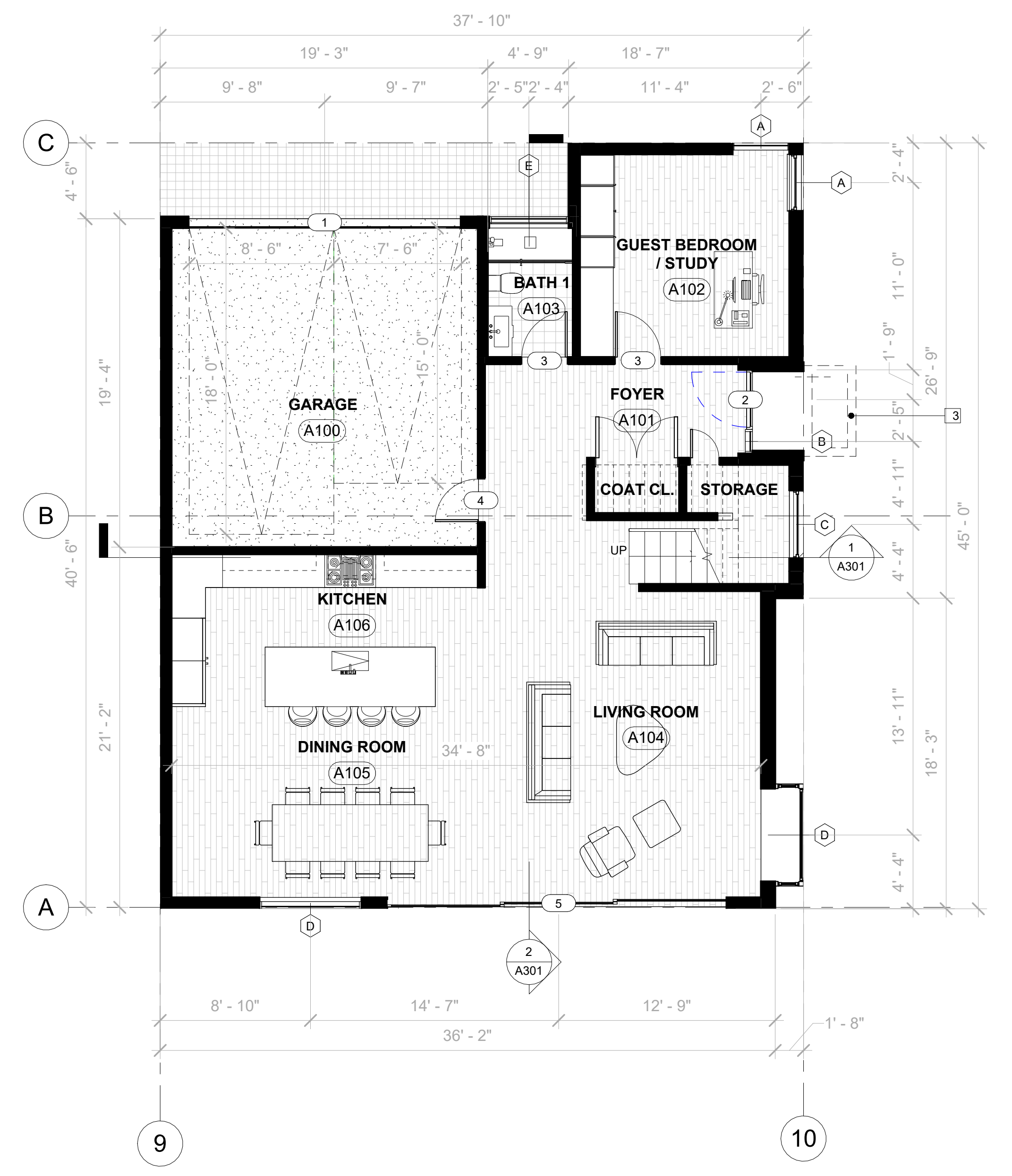
Scale 3/32" = 1'-0"



3 ROOF DECK - UNIT A
3/16" = 1'-0"



2 2ND FLOOR - UNIT A
3/16" = 1'-0"



1 1ST FLOOR - UNIT A
3/16" = 1'-0"

KEYNOTES

1. WALL SCOFFER FOR PEDESTRIAN PATHWAY AND BUILDING ILLUMINATION
2. MIN. 42" GUARDRAIL
3. TRELLIS

BAVA, LLC.

150 S. Glenoaks Blvd #109
Burbank, CA 91504
818.359.1946
www.bavalba.com
info@bavalba.com

RALSTON 5 UNIT

12603 N Ralston Ave
Los Angeles, CA 91342

20LA004

No.	Description	Date

FLOOR PLAN

Project number 20LA004
Date 5/19/2023
Drawn by SV
Checked by SV

A103

Scale 3/16" = 1'-0"

